

Long Reach Architectural Guidelines

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Dear Neighbor:

The Architectural Committee of Long Reach hopes that you will find this revision of the Guidelines useful and clear.

Much of the information is unchanged but some additions and deletions have been made in an ongoing effort to make this process as understandable as possible. Despite the best intentions of the many people who worked on this project, you may have questions not answered here. Please let us know what they are so we cannot only help you but also note ways to improve our efforts next time.

If you have questions, please call the Covenant Advisor at Stonehouse, 410/730-8113.

Revised October 2005
Revised February 2006
Revised August 2007
Revised August 2008
Revised July 2009
~~Updated - Revised~~ January
2011
Revised May 2011
~~Revised - September~~2020

Responsibility and Authority

The Long Reach Village Covenants, Article VII for Architectural Committee and Architectural Control states ~~that in~~ Section 7.02, "No Structure shall be commenced, erected, placed, moved on to or permitted to remain on any lot, nor shall any existing Structure upon any Lot be altered in any way which materially changes the exterior appearance thereof, nor shall any new use be commenced on an Lot, unless plans and specifications (including a description of any proposed new use) therefore shall have been submitted to and approved in writing by the Architectural Committee. Such plans and specifications shall be in such form and shall contain such information, as may be required by the Architectural Committee, but in any event shall include (i) a site plan of the Lot showing the nature, exterior color scheme, kind, shape, height, materials and location with respect to the particular Lot (including proposed front, rear and side setbacks and free spaces, if any are proposed) of all Structures, the location thereof with reference to Structures on adjoining portions of the Property, and the number and location of all parking spaces and driveways on the Lot; and (ii) grading and landscaping plans for the particular Lot." ~~anything which materially changes the exterior appearance of any lot and/or structure in Long Reach, any use other than the originally intended use of any lot or structure in Long Reach, and any matter which involves the maintenance of any lot or structure in Long Reach is subject to the review of the Long Reach Architectural Committee.~~

The Long Reach Architectural Committee has the authority to require property owners to abide by the provisions of the Village Covenants and by the Architectural Guidelines and procedures described in the following pages. Article VII, Section 7.05 of the Long Reach Village Covenants states, "The Architectural Committee may promulgate rules governing the form and content of plans to be submitted for approval or requiring specific improvements on the Lots, including, without limitation, exterior lighting and planting, and may issue statements of policy with respect to approval or disapproval. Approval of any such plans and specifications relating to any Lot, however, shall be final as to that Lot and such approval may not be revoked or rescinded thereafter, provided (i) that the Structures or uses shown or described on or in such plans and specifications do not violate any specific prohibition contained in the Long Reach Village Covenants and (ii) that the plans and specifications, as approved, and any condition attached to any such uses of the Lot in question."

What Are the Covenants?

The Long Reach Village Covenants are one of the many pieces of paper you (or your landlord) received at the time of settlement on your property. We hope you have read and understood them; if not, portions are summarized in this [bookbooklet](#). Copies of the Covenants and Guidelines are available [at Stonehouse, in the Long Reach Village Center](#) [or on our website, longreach.org](#).

The Covenants are a binding legal obligation between Long Reach Community Association and all its residents. Each of the other villages in Columbia has similar covenants, or contracts. The Covenants assure ~~the~~ residents of certain minimum standards for land use, architectural design, and property maintenance throughout their ~~the~~ village. ~~They also provide for your membership in the Columbia Association, Inc. (CA), and the Long Reach Community Association, Inc. (LRCA), and establish the mechanism for the operation of these associations.~~

~~These~~ Covenants run with the land as part of your deed of ownership and cannot, as a practical matter, be changed. They are a contract between the Village Association, as represented by its elected Board of Directors (the Village Board) and the residents, and between each resident and every other resident of the Village. Thus, when dealing with the Covenants and the architectural control process, you are dealing with your friends and neighbors in the Village of Long Reach. It is our intent and duty to help you in every way to obtain the fullest enjoyment of your property and common CA owned property, consistent with your obligations to other residents.

What are the Architectural Guidelines?

The Long Reach Architectural Guidelines are based on the Covenants. The Guidelines describe exterior alterations and in-home businesses that are most likely to be approved in typical circumstances. The Guidelines also describe conditions that are likely to be in violation of the Covenants.

How Does the Architectural Process Work?

The [Long Reach Village](#) Covenants provide for an Architectural Committee (AC). Since the duties of the AC are many and varied, it is assisted in routine architectural control matters by a volunteer Resident Architectural Committee (RAC). Both the AC and the RAC are volunteers appointed by the Village Board.

In addition, the Village employs Covenant Advisors who are available at Stonehouse to assist with Exterior Alteration Applications, complaints, and inquiries on architectural and maintenance matters and who also carry out certain duties associated with Covenant enforcement.

Why Do We Have Architectural Controls?

Many people who have lived in communities without architectural controls have seen or experienced a well maintained, well-decorated house next to one which has been allowed to deteriorate or has a lawn strewn with junk.

These are, of course, extreme circumstances, but none of us wants to live near or have to look at an eyesore. The architectural controls in the [Village Long Reach Village Covenants](#) are designed to prevent excesses and abuses, while affording flexibility in property use.

What Are the Steps for Approval of My Plans?

If you want to make exterior alterations, including landscaping, or would like to start an in-home business, your first step is to consult the Guidelines in this [bookbooklet](#). They will tell you what requires an [n-forma_l](#) application ~~as well as~~ [will](#) help ~~ing~~ ensure that your planning is complete. [A copy of each form is included in this bookbooklet and copies are available at Stonehouse, the village office, and on our website longreach.org.](#) If you have questions, consult the Covenant Advisor.

What Is the Regular Process?

Once your application has been received at Stonehouse, it is previewed by the Covenant Advisor for completeness. If the Covenant Advisor notes that required information is missing, ~~he/she will the application will be returned to you via email or letter, noting return the application to you by letter or email, and let you know~~ what is missing. When the application is deemed complete, it will be stamped received, ~~given assigned~~ a log ~~number, and~~ [number and](#) placed on an agenda. ~~All meetings of the RAC Resident Architectural Committee meetings~~ are open ~~to all residents to the public~~ and meetings are held every other Wednesday at 7:~~30-00~~ p.m. An occasional date shift may occur due to a holiday.

At the RAC meeting, your application will be presented and discussed. You will be invited to join the discussion if you attend. At the first meeting after ~~submittal~~ [submission](#), the RAC previews your application and decides if a site visit or more information is necessary. During the second meeting after ~~being submitted~~ [submission](#), the RAC may take several actions: ~~vote to approve the application, to approve with stipulations or as amended, to approve as an exception to the Guidelines, to postpone for added information or a site visit, on applications with multiple changes approve some and deny some, and, finally they may vote to deny the application. Whichever action the RAC takes, you will be notified by email within a few days and you may call Stonehouse to find out the results. If your application was denied, this mailing will detail the steps you need to take if you wish to appeal.~~

- [Vote to approve the application](#)
- [Vote to approve with stipulations or as amended](#)
- [Vote to approve as an exception to the Architectural Guidelines](#)
- [Vote to postpone for additional information or a site visit](#)
- [Vote on applications with multiple changes \(approve some alterations while denying others\)](#)
- [Vote to deny the application](#)

~~Whichever action the RAC takes, you will be notified by email within a few days and you may call Stonehouse or visit our website longreach.org to find out the results. If your application was denied, this mailing will detail~~ [a letter will be mailed outlining the steps you need to take if you wish to appeal.](#)

Submit applications early, allowing four weeks for processing. All applications require processing and those under consideration for the regular process must be received two weeks prior to an RAC meeting to be on that meeting's agenda. During the processing period, you can obtain any necessary permits or variances required by Howard County.

ANY APPLICATION SUBMITTED WITHOUT ALL REQUIRED INFORMATION WILL BE NEITHER STAMPED "RECEIVED" NOR LOGGED IN AND WILL BE RETURNED TO THE PROPERTY OWNER(S) FOR COMPLETION.

PLEASE NOTE: HOWARD COUNTY AND LONG REACH VILLAGE HAVE INDEPENDENT APPROVAL PROCESSES AND APPROVAL BY ONE DOES NOT RELIEVE YOU OF THE RESPONSIBILITY TO OBTAIN APPROVAL OF THE OTHER.

~~Applications under consideration for the regular process must be submitted by noon, two Wednesdays before the meeting at which it will be on the agenda, e.g., an application submitted by noon on Wednesday, March 15 will be previewed on March 15 and will be on the agenda for a vote March 29.~~

What Is the *Fast Track* Process?

~~Only certain~~Certain exterior alterations may be reviewed under the ***Fast Track*** application process. This process was developed to shorten processing time for certain standard exterior alterations. ~~Please check the Guideline book to see if your alteration may be considered under the ***Fast Track*** process. Any application from a townhouse or condominium **must** include the local association signature with Approval or Disapproval circled on the application. The Guidelines note those alterations which are eligible and outline the specific criteria required for the ***Fast Track*** process.~~

Exterior alterations eligible for ***Fast Track*** are:

- Air Conditioning Units
- Basketball backboards
- Compost Bins
- Decks
- Fences (townhouse only)
- Flag Brackets
- Landscape edging
- Patios
- Sheds
- Siding
- Skylights and light tunnels
- Solar collectors
- ~~Tree removal~~
- Wheelchair ramps

All ~~application~~Exterior Alteration Applications for consideration under the ***Fast Track*** process must be submitted by noon any Monday Stonehouse is open. The ~~application~~Exterior Alteration Application form for the ***Fast Track*** process is the same form used for all exterior alteration requests. The Covenant Advisor will review the submitted ~~application~~Exterior Alteration Application for ***Fast Track*** eligibility and completeness.

The ~~application~~Exterior Alteration Application **must be complete** at the time of submission for consideration under the **Fast Track** process. This includes ~~a plot plan, color or material samples, drawings, all pertinent measurements~~all required supporting documentation, and **signatures of four at least two visually affected property owners surrounding the applicant's property**. ~~are required, etc. The neighbors' signatures are required for the Fast Track process due to the inability to notify neighbors by post card. Neighbors' signatures indicate awareness of intent, not the approval or disapproval of the proposed change. The decision to move an application to the regular process is final.~~

If the ~~application~~Exterior Alteration Application is complete and meets the criteria for **Fast Track** review, it will then be approved or disapproved by a member of the Architectural Committee and you will be notified by ~~phone~~email by 4 p.m. the Thursday ~~no later than 4 p.m., with confirmation in writing.~~following the submission deadline.

If your ~~application~~Exterior Alteration Application is ~~not complete or~~ not eligible for the **Fast Track** process, it will automatically be shifted to the regular process and reviewed at a regularly scheduled RAC meeting. The decision to shift a **Fast Track** ~~application~~Exterior Alteration Application to the regular process is final.

~~After you have studied the Guidelines, complete and submit your application, using the special forms for either Exterior Alterations or for In-home Business. In addition, several worksheets are available to help assist you in preparing your application. A copy of each form is included in this booklet and copies are available at Stonehouse, the Village office.~~

~~You may prefer to download these application forms from the Long Reach website, at www.longreach.org. You need to have Adobe Reader software installed on your computer for these forms to print properly. If you do not have it, you can go to the Adobe site, www.adobe.com, and download Adobe Reader for free.~~

~~Be sure that your application is complete and clear and has all the necessary signatures -- including your own. A helpful checklist for completing your Exterior Alteration Application is enclosed in this booklet. You can deliver or mail your completed applications, or you can fax them, 24 hours a day, to 410/730-5882.~~

~~**ANY APPLICATION SUBMITTED WITHOUT ALL REQUIRED INFORMATION WILL BE NEITHER STAMPED "RECEIVED" NOR LOGGED IN AND WILL BE RETURNED TO THE PROPERTY OWNER(S) FOR COMPLETION.**~~

~~Submit applications early, allowing four weeks for processing. All applications require processing and must be received two weeks prior to an RAC meeting to be on that meeting's agenda. During the processing period, you can obtain any necessary permits or variances required by Howard County.~~

~~**PLEASE NOTE: HOWARD COUNTY AND LONG REACH VILLAGE HAVE INDEPENDENT APPROVAL PROCESSES AND APPROVAL BY ONE DOES NOT RELIEVE YOU OF THE RESPONSIBILITY TO OBTAIN APPROVAL OF THE OTHER.**~~

~~When your application is submitted at the Village office, it will be assigned a log number and a brief description of your proposal will be listed on the village website, www.longreach.org, and/or~~

~~posted at the Village office. Your neighbors will be notified by post card that you have an application pending.~~

~~At the RAC review meeting, your application will be presented by a member and you will be invited to join the discussion if you attend. At that meeting your neighbors and any other Village resident will have the opportunity to offer comments in support of or in opposition to your application. From there, your application, with the RAC's recommendation for final action, goes to the Architectural Committee. If your application is approved, that approval is final. You should receive a copy via email within 3 days, authorizing you to start work.~~

Exceptions

While exceptions to ~~these~~ the Architectural Guidelines may be denied, ~~at the first hearing,~~ approval of an exception must receive a positive ~~can be granted only after consideration~~ at two consecutive RAC meetings.

Appeals

If you, the applicant, want to appeal an unfavorable action by the AC, your request must be submitted in writing or via email within 10 calendar days after you receive written notice of that action. Appeal requests should be addressed to:

Architectural Committee
Attn: Covenant Advisor
Long Reach Community Association
8775 Cloudleap Court
Columbia, Maryland 21045

The AC will then arrange to hear the appeal. Their decision is then legal and binding and can only be changed in court.

Once your ~~application~~ Exterior Alteration Application is approved, all the work specified must be completed within 120 calendar days once the work has started. If you decide not to carry out the project or some emergency arises to delay work, advise the Covenant Advisor promptly, in writing or by email requesting an extension. Failure to keep your file up-to-date and accurate can cause complications when the property is sold.

Although this process may seem complex and rigid, it is one that works because our residents, including those on the AC and the RAC, are interested and cooperative. Every effort is made to help applicants and to find compromises where necessary. Hundreds of ~~application~~ Exterior Alteration Applications are speedily and satisfactorily approved each year and only a handful are appealed.

What If I Don't Wait for Approval?

If you start an alteration or in-home business without first getting written approval of your plans, you do so at your own risk. If you fail to submit an application or if your application is modified or ~~turned down~~denied, you may face the cost of removing the alteration plus legal costs. The Long Reach Village Covenants provide means for placing such costs as a lien against your property. These circumstances may also arise if your property has been altered without approval before you purchased it.

In cases such as these, every effort is made to work out a reasonable solution to the problem. The best solution, however, is prevention. If you are ~~buying or~~ selling a property in Long Reach, call the Covenant Advisor and submit a request for a Letter of Compliance for the property. ~~After you own it, make sure you have approval before starting work. The Covenant Advisor will perform an inspection of your property and let you know if there are any items that are not in compliance with the Long Reach Village Covenants and/or Architectural Guidelines, and will provide you with information on what you can do to bring your property into compliance.~~

How Can I Find Out About Proposed Exterior Alterations?

Residents are welcome to attend Resident Architectural Committee (RAC) Meetings, which are open to the public. RAC Meeting Agendas list the Exterior Alteration Applications and In-Home Business Applications up for review. RAC Meeting Agendas are posted on our website, longreach.org, and are also available at Stonehouse.

Please remember that signing an application for your neighbor does not indicate your approval of the proposed alteration, only your awareness of the intent. If you are opposed to a proposed alteration, consider discussing your concerns with your neighbor. If that is impossible, contact the Covenant Advisor at the Village Office, either by phone or in writing and indicate the reasons for your opposition. You also have the right to present testimony in person at the scheduled RAC meeting.

What Is the Process for Covenant Enforcement?

Enforcement of the Village Covenants is the job of every resident, but the routines are carried out by the Covenant Advisor. When architectural complaints are brought to the attention of the Covenant Advisor, they are kept confidential and investigated as soon as possible. If a violation is confirmed, the property owner is contacted and asked to correct the problem, either by removal or submission of an application or, in the case of a maintenance problem, by repair. Our experience has been that most problems are corrected at this stage.

If this contact does not result in action, the property owner will receive formal notification requesting action and if the problem is not corrected within the stipulated time, legal action may be initiated.

How Closely Must I Adhere to the Guidelines in this ~~Book~~Booklet?

The Covenants give to the Architectural Committee the responsibility to set rules and procedures for architectural control, and the power to interpret the Covenants and allow exceptions to their requirements. The Guidelines presented here have been written by the Resident Architectural Committee and the Architectural Committee, ~~as part of that first responsibility~~ then formally approved by the Village Board.

Based upon the policies and previous decisions of the committees, the Guidelines will tell you what is most likely to be approved in typical circumstances and also give you important information on how to prepare your application (see sample in the back). Special circumstances regarding your property may allow the approval of an application which might be denied for another location or the denial of one which might be approved for somewhere else. ~~The fact that your plan has been approved for use at another location does not mean it is automatically approved for you.~~

One Final Note

~~Members of the~~ The RAC and AC ~~members~~ and the Covenant Advisors are, ~~in the final analysis, human beings~~ human and always strive to do their best to serve the village residents. We are proud of our accomplishments and embarrassed by our errors. We ~~need~~ appreciate your help and cooperation in ~~every facet of our work~~ keeping the Village of Long Reach a beautiful place to live.

Very Important Advice

Contractors

All Exterior Alteration Applications will be considered for final approval by the Long Reach Architectural Committee only if the following information is provided:

- Are you your own contractor? (Yes or No)
- If no, you must provide the name, address, and telephone number of the contractor.

Miss Utility

Before digging, call Miss Utility (1-800-257-7777) for free information on location of gas, power, and telephone lines.

Tell HoCo

Report non-emergency neighborhood issues to Howard County Government from a smartphone, tablet, or desktop computer. Report damaged street signs, street tree issues, roadway concerns, and more.

- Website: Howardcountymd.gov/Sty-In-Touch/Tell-HoCo
- Mobile App: [Tell HoCo](#)

Howard County Permits

IT IS THE RESPONSIBILITY OF THE APPLICANT TO OBTAIN **ALL** NECESSARY PERMITS AND APPROVALS FOR ANY PROJECT. LOCAL AUTHORITIES AND LONG REACH VILLAGE HAVE SEPARATE AND INDEPENDENT PROCESSES. PERMISSION FROM ONE DOES **NOT** GRANT APPROVAL FOR ANY OTHER AUTHORITY.

Some of the agencies that may require separate applications are listed below. Please ask if your project requires any other type of license or permit when you contact these offices:

Howard County Licenses and Permits 410-313-2455

- Building Permits
- Electrical Permits
- Plumbing Permits
- Contractors Licenses
- Rental Housing Licenses
- Solicitor/Peddler Licenses
- Traders Licenses

Howard County Dept. of Planning & Zoning 410-313-2350

Howard County Information & Referral 410-313-3000

GUIDELINES

GUIDELINE 1

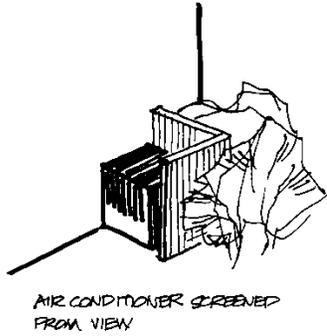
AIR CONDITIONING UNITS and HEATING SOURCES, GENERATORS and ABOVE GROUND FUEL TANKS *

Fast Track process available

1. No Exterior Alteration Application is required for the replacement of an existing air conditioning unit(s) if the location and the number of unit(s) does not change.
2. Generally, window and wall units will not be approved.
3. The preferred location for heat or air conditioning sources, generators, and fuel tanks is as close to the rear of the house as possible.
4. Heat or air conditioning sources, generators and fuel tanks locations may require screening.
5. An application Exterior Alteration s shall be Application is required for:
 - A location change to any air conditioning unit
 - An additional air conditioning unit
 - A all air conditioners, including wall window or window units.
 - A heating source
 - A generator
 - An above ground fuel tank

~~— Generally, window and wall units will not be approved.~~

1. ~~— Applications shall include a description, drawing and/or picture of the unit and related equipment, and their location.~~
2. ~~— Air conditioners shall be located as close to the rear of the house as possible. The preferred location for heat or air conditioning sources, generators, and fuel tanks is as close to the rear of the house as possible.~~
3. ~~— Air conditioning units shall be adequately screened. Screen plantings should permit adequate air flow. Heat or air conditioning sources, generators and fuel tanks shall be adequately screened.~~
4. ~~— Generally, window and wall units will not be approved.~~



Fast Track Requirements:

6.

Fast Track is available for air conditioning units that are installed on or relocated to another ground location.

Application Requirements:

- A site plan showing the location of the air conditioning or heating source, generator, or above ground fuel tank, as well as any proposed landscaping or fencing for screening purposes.
- A photo of the home showing the location of the unit if the source is in a window or on a wall.
- Material description, including the dimensions and color of unit or tank.
- Color photo and/or brochure showing the unit or tank.
- Material description of any proposed screening, including dimensions and color for fencing, if applicable.

GUIDELINE 2

~~ALTERATIONS WITHIN ENCLOSED REAR YARDS~~

~~In cases such as townhouses where an entire rear yard is enclosed within a 6-foot privacy fence, applications are not required for ground-level decks, patios, landscaping and permanent gas grills, provided none of the alterations extend above the top line of the privacy fence.~~

GUIDELINE 2

ANIMAL SHELTERS AND DOG RUNS

No *Fast Track* process available

1. ~~Applications~~ An Exterior Alteration Application ~~is~~ **are** required for all dog runs and animal shelters.
2. Dog runs and animal shelters should be located behind the house, preferably attached to the house, but as close to the house as possible. It should be situated so as not to be an inconvenience or nuisance to the neighbors. To ensure the privacy of adjacent neighbors, dog ~~runs~~ runs, and animal shelters shall not be located near property lines.
3. It is recommended that the fencing material be wood left natural, stained an earth tone or painted to match the house. If other fencing exists on the property, fencing for dogs should be the same type and color.
4. Color of animal shelter and roof must match house or blend in with its natural surroundings.
5. The size should be proportionate to the size of the house and lot.
6. Approval is contingent upon residents' commitment to keeping the area clean and to maintaining the structure in good condition.
7. ~~Applications shall contain the following information:~~
 - a. ~~signatures of all adjacent property owners,~~
 - b. ~~site plan showing the relationship of the dog run or animal shelter to the dwelling, adjacent homes and property lines, and other identifiable landmarks,~~
 - c. ~~detailed drawings of the shelter or run, including dimensions,~~
 - d. ~~list of materials to be used including landscaping plans,~~
 - e. ~~color chip, and~~
 - f. ~~picture and/or drawing of proposed dog run and/or shelter.~~

Application Requirements:

- Site plan showing the location of the dog run or animal shelter in relation to the dwelling, property lines, adjacent homes, and other identifiable landmarks.
 - Material description, including the dimensions, color, and style.
 - Color photo and/or detailed drawing of the shelter or run.
 - Color sample, if applicable.
8. ~~Residents should familiarize themselves with local ordinances covering the proper treatment of animals that are allowed out of the house.~~

GUIDELINE 3

ATTIC VENTILATORS *

No Fast Track process available

1. No Exterior Alteration Application is required ~~Applications are not required~~ for attic ventilators, including solar powered, provided that if all of the following provisions conditions are met:

a. ~~They are~~ The ventilator is roof-mounted, located on the back or the least visible slope-side of the roof, and does not extend above the ridge-line.

b. No part of the ventilator protrudes more than 12 inches above the roof surface.

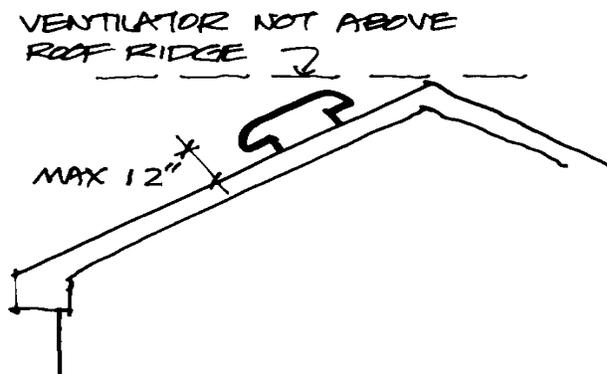
~~1. All exposed parts are painted to match the color of the roof.~~

~~2. Blocking air flow through the ventilator, if necessary, is done from the inside of the ventilator.~~

2. An Exterior Alteration Application is required if all the above conditions are not met.

Application Requirements:

- Photo or diagram of the home showing the location of the attic ventilator.
- Material description, including the color, dimensions, and the style.



GUIDELINE 4

AWNINGS, ARBORS, PERGOLAS, AND SUN AND GARDEN TRELLISES

No *Fast Track* process available

1. ~~An Application~~Exterior Alteration Applications ~~are is~~ required for all awnings, arbors, pergolas, and ~~and sun~~-trellises.
2. ~~Sun-control devices~~Awnings, arbors, pergolas, and trellises shall be compatible with the architectural character of the house, in terms of style, color and materials. Cloth, wood, and composite are the preferred materials. ~~Metal, fiberglass, and plastic awnings will not be allowed.~~
3. Awnings are to be of straightforward design, of a solid, natural color, and without embellishments such as fringes, contrast trim, etc. However, awnings ~~with very little or no visual impact~~ may have stripes that are natural in color or that complement the house and will be considered on a case-by-case basis.
4. Awnings, arbors, pergolas, and trellises shall be consistent with the visual scale and architecture of the house to which they are attached. The location of any awning, arbor, pergola, or trellis should not adversely affect views, sunlight, or natural ventilation of neighboring properties.
5. If awnings are to be removed, pipe frames, etc. must also be removed and repairs made, as necessary.

~~Applications must include a site plan, scaled elevation, and roof plan showing the location of the awning or sun trellis in relation to the house. Dimensions, color, style, method of attachment (where applicable), and a description of the material and/or a manufacturer's drawing must be included.~~

Application Requirements:

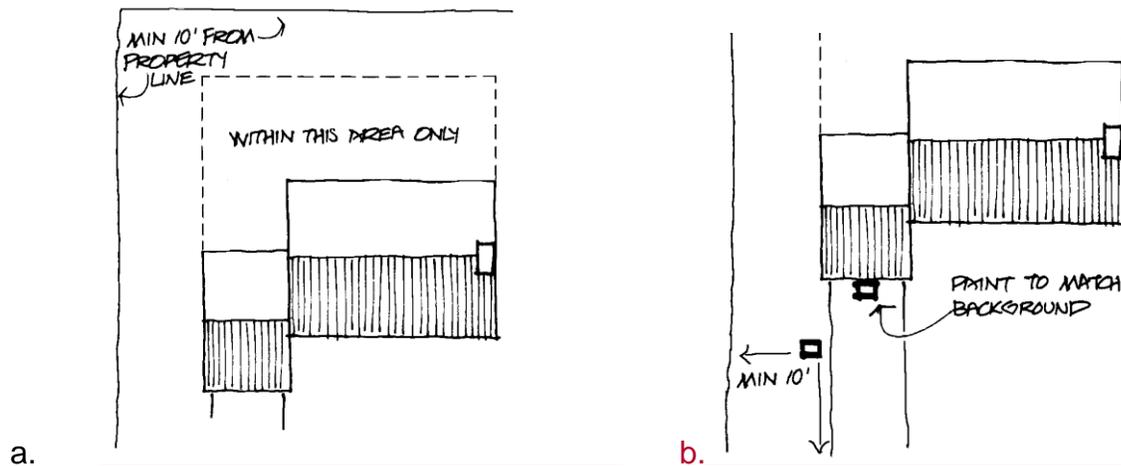
- A site plan showing the location of the proposed structure.
- A scaled elevation drawing and roof plan, if applicable, showing the awning, or pergola in relation to the house.
- Description of method of attachment to house, if applicable.
- Material description, including dimensions, color, and style.
- Color photo, and/or detailed drawing.

GUIDELINE 5

BASKETBALL BACKBOARDS AND POLES (Installed and Portable)*

Fast Track process available

1. ~~Applications~~ An Exterior Alteration ~~are~~ Application is required for all basketball backboards and poles. ~~Signatures of four property owners surrounding the applicant's property are required.~~
2. ~~Applications shall contain the following provisions:~~
 - a.2. If location is behind the house: the backboard is firmly attached to the house, carport or garage, or is on a freestanding pole not within 10 feet of the rear and/or side property lines and not extending forward of the rear line of the house (see sketch a. below).
 - b.3. If location is on the driveway: the backboard must be firmly attached to the house, carport or garage or on a freestanding pole not within 10 feet of the nearest property line and must be closer to the house than to the street with a minimum of 10 feet to the street (see b. sketch below).



- 3.4. The backboard shall be clear, white, or painted to match the color of the area to which it is attached. A marker square of a contrasting color is allowed.
- 4.5. The entire unit, including the backboard, rim, net, and pole, shall not exceed 12 feet in height.

Fast Track Requirements:

Fast Track is available if the proposed basketball backboard is clear, white, or painted to match the area in which it is attached, and attached and is attached to the front of the garage.

Application Requirements:

- Site plan showing the location of the basketball backboard or pole, and distance to property lines.
- Material description, including dimensions, and color of backboard and base/pole, (if applicable).
- Color photo of proposed basketball equipment.

NOTE: Howard County prohibits portable basketball poles on county right-of-ways and county streets.

GUIDELINE 6

CHIMNEYS (RESIDENTIAL) AND SMOKESTACKS

No **Fast Track** process available

1. An ~~complete application~~ Exterior Alteration Application is required for all residential chimneys, flue, and smokestack (hereafter all referenced as chimney) installations.
2. Exterior chimney installations shall be in harmony with the applicant's and surrounding houses.
3. Masonry or siding enclosed construction is encouraged as the most architecturally appropriate style for chimneys.
4. Where there is an existing chimney on the house, specific details on both existing and the proposed chimneys must be provided (see paragraph 7).
5. Chimneys which exit through a wall or foundation or which run vertically along a wall shall be of brick or stone masonry construction or shall be boxed-in with materials which match the exterior wall in style and color.
- ~~5.~~
6. All flashing must be painted to match the adjacent surface.
- 6.7. The following ~~guidelines criteria~~ apply to chimneys which exit through the roof:
 - a. Conspicuous locations on the front slope of the roof should be avoided.
 - b. The chimney should be boxed-in if located on the front slope of the roof ridge or any other location visible from the street.
 - c. Chimneys located on the rear slope of the roof and not visible from the fronting street may not need to be boxed in.
 - d. Exposed metal must be painted black, dark brown or the roof color.
 - e. The height of the exposed metal section or the boxed-in chimney should be limited to the minimum permitted by the County building and fire codes.
- 7.8. Special care is needed to arrive at an architecturally suitable design when a second chimney is to be added. The following ~~guidelines criteria~~ apply in addition to those above when there is an existing chimney on the house (other than a builder-provided, through-the-roof installation for the central heating system). ~~Special care is needed to arrive at an architecturally suitable design when a second chimney is to be added.~~ While each case must be considered separately, the following guides should be considered:
 - a. Dissimilar chimneys should not be used unless it is impossible to see both at the same time.

- b. When a second chimney is to be added on the same end of a house as an existing boxed-in chimney, both flues should be run through the same enclosure.

~~8. All flashing must be painted to match the adjacent surface.~~

Application Requirements:

- A site plan showing the location of the proposed chimney or smokestack in relation to the house, as well as any existing chimney.
- Elevation drawings showing the exact location of any existing and proposed chimney or smokestack.
- Material description, including dimensions, color, and style.
- Color photo, brochure, and/or detailed drawing.

GUIDELINE 7

CLOTHES LINES

No **Fast Track** process available

Only umbrella or retractable clothes-hanging devices are permitted and do not require an ~~application~~Exterior Alteration Application. These, however, must be located in the backyard, and removed from view daily between sunset and sunrise. when not in use, ~~unless they are enclosed by a privacy fence or other structure which has been approved by the Architectural Committee.~~

GUIDELINE 8

COMMERCIAL PROPERTIES

No **Fast Track** process available

1. ~~An Application~~Exterior Alteration Applications ~~are-is~~ required for all new construction and any changes to existing commercial property. New commercial construction shall be a two-step approval process.
2. The design for new commercial construction or changes to existing properties must be compatible with and of generally the same style, materials, and color(s) as that on existing neighboring commercial properties.
3. Landscaping for all commercial structures must be compatible in size and type with the landscaping of existing neighboring commercial properties. Shrubs and trees shall be kept pruned so as not to limit access to the entryways or view of the windows of the structure or to appear out of proportion to the size of the structure.
4. Advertising and promotional signs and posters installed on the inside of the windows may cover no more than 20% of any window surface area.
5. Lighting fixtures installed attached to the structure, along an entryway or in any parking area(s) must be of the same style, size and color as lighting fixtures existing on neighboring commercial properties.
6. **TWO-STEP APPROVAL PROCESS**
 - a. **Step One Approval** - Approval of GENERAL CONCEPT AND PLAN: ~~This-The application~~Exterior Alteration Application ~~shall must~~ contain the basic information as noted above. Approval of this preliminary ~~application~~Exterior Alteration Application does **not** constitute authorization for the construction or renovation of said structure to commence.
 - b. **Step Two Approval** - Within 60 days after obtaining the Step One approval, the ~~resident-applicant~~ must submit a copy of the approved Howard County building permit along with a statement that Howard County did not require any exterior changes to the original ~~application~~Exterior Alteration Application or the County did require exterior changes to the plans in the original ~~application~~Exterior Alteration Application and state ~~what these changes are~~the changes. This statement must include all measurements, drawings, color samples, etc., pertinent to the ~~application~~Exterior Alteration Application. Although the County may have issued the building permit, the applicant must obtain RAC approval of the revised Exterior Alteration Application.

GUIDELINE 9

COMPOST PILESBINS

Fast Track process available

A compost pile-bin is a contained, properly maintained area for decomposition of plant materials such as grass clippings, leaves and wood, not simply a dumping area. Because lots are small in Columbia and odors or pests are a primary concern, compost pires-bins should not be used for household-wastemeat or fish, dairy products, fats, oil, grease, or pet waste and should be turned regularly to speed composting.

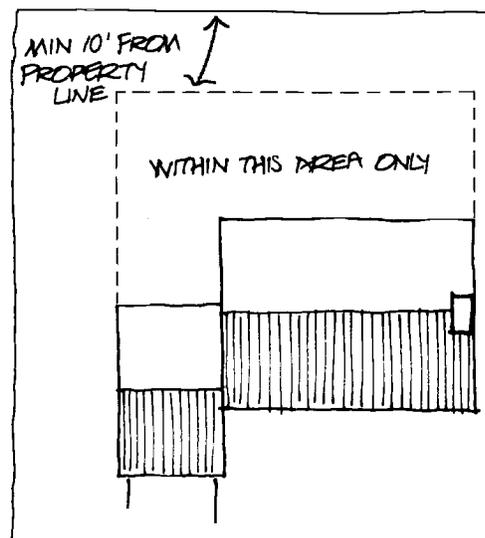
1. An Application Exterior Alteration s Application is are required for all compost piresbins.
2. Compost pires-bins shall be located in the rear yard, within the sidelines of the house and at least 10 feet from the rear property line.
3. Compost pires-bins shall be containerized and no more than 4 feet square and 3 feet high.

Fast Track Requirements:

Fast Track is available if the proposed compost bin meets all the above conditions.

Application Requirements:

- A site plan showing the location of the proposed compost bin in relation to the house, property line and neighboring houses. On the site plan, clearly indicate the distance between the bin and property lines.
- Material description, including dimensions, color, and style.
- Color photo of proposed bin.



GUIDELINE 10

DECKS ~~AND, PATIOS, PATIOS,~~ RETAINING WALLS AND WALKWAYS*

Fast Track process available ~~for some Decks & Patios~~

1. No Exterior Alteration Application is required for deck and patio replacement if there are no changes to material, style, dimensions, and location.
2. An Exterior Alteration Application is required for decks and patios in all other situations.
3. The design, location and size of the structure shall conform to the design and scale of the house and its relationship to neighboring dwellings. Decks (including stairs) on townhouses shall extend no more than 14 feet from the rear wall of the house to the outside edge of the deck.
4. Decks ~~, patios and patios, retaining walls or walkways~~ should disturb the existing contours as little as possible. Terracing is to follow existing land contours and should be built in small increments, or a safety railing should be provided.
5. Railing height must fall between 36 and 42 inches.
6. Patios should extend no more than twenty (20) feet from the rear of the dwelling or one-third of the distance from the rear of the dwelling to the rear property line, whichever is less.
- 5.7. Patios should not protrude beyond the sides of the house.

4-8. It is recommended that materials be left natural or stained, in certain circumstances. Composite deck materials will be considered in earth tones, gray, or white colors that match the existing house. Application Exterior Alteration Applications shall include the following information:

~~drawings showing the size, style and elevation of the structure and details of any railings, benches, planters and/or steps planned,~~

~~list of materials,~~

- ~~c. description of the treatment to be applied to the materials (though it is recommended that materials be left natural or stained, in certain circumstances, composite* deck materials will be considered in earth tones, gray, or white colors that match the existing house);~~
- ~~e. site plan showing the relationship of the structure to the house and other adjacent structures,~~
- ~~f. description of any plantings to be removed or moved for the construction of the structure, and~~

~~g. description of any equipment, such as meters or heating and air conditioning sources, which will be relocated.~~

Fast Track Requirements:

Decks eligible for the ***Fast Track*** process must meet all criteria above in addition to the following:

1. Decks must have square or rectangular floors constructed of pressure treated wood or composite (man-made materials) and be in the tan, brown or gray color range and 2" x 2" picket railings or round aluminum balusters and railing systems.
2. Patios must be square or rectangular, constructed of unpainted concrete, brick, pavers, or slate, pressure treated wood or composite and be in the tan, brown or gray color range.

Application Requirements:

- Site plan showing the relationship of the structure to the house and other adjacent structures.
- Drawings showing the dimensions, style, and elevation of the structure, including railings, benches, planters, and steps, if applicable.
- Material description of decking and railing, and/or patio, including the color, and style/pattern.
- Description of proposed lawn contour changes and any plantings to be removed or moved for the construction of structure.
- Description of any equipment, such as meters or heating or air conditioning sources which will be relocated.
- Color photo or sample of material being used. This is not required for decks made of pressure treated lumber, left natural or for patios made of unstained Portland concrete with no stamped pattern.
- Color sample of stain, if applicable.

DECORATIVE OBJECTS, EXTERIOR LIGHTS AND HOUSE NUMBERS, FLAG POLES & BRACKETS

~~Fast Track~~ process available for Brackets

Decorative Objects

~~No Fast Track~~ process available

1. ~~An Application~~ Exterior Alteration Application ~~iss shall be~~ required for all exterior decorative objects whether they are natural or man-made.
2. Typical exterior decorative objects include, but are not limited to, birdbaths, wagon wheels, sculptures, fountains, ponds, sundials, rocks or rock gardens, flagpoles (*flagpoles will be approved up to a maximum height of ten feet*), low flower and shrub border fencing, free standing poles of any type, banners with their brackets and items attached to approved structures.
3. Natural exterior decorative objects (such as driftwood and stones) will be considered for both front and rear yards.
4. Generally, man-made decorative objects will be considered for the rear yard only.
5. Objects will be evaluated on siting, proportion, color, and appropriateness to surrounding environment. ~~Applications must include:~~
 - a. ~~site plan,~~
 - b. ~~detailed drawing or picture of the object,~~
 - c. ~~color and material, and~~
 - d. ~~any additional information that will be helpful in the review of the application.~~

Lights

~~No Fast Track~~ process available

1. ~~Security lights must be able to be aimed and must be aimed onto applicant's property only.~~
2. ~~The use of motion-sensor lighting is encouraged to minimize impact on neighboring properties and environment.~~
3. ~~No Exterior Alteration Application is required for exterior replacement fixtures that are in keeping with the style of and are attached to the house.~~
4. ~~An Exterior Alteration Application is required for adding exterior lights or fixtures not included with original structures, and for removal of original light fixtures.~~

~~Security lights must be able to be aimed and must be aimed onto applicant's property only. Exterior lights or fixtures not included with original structures require written approval. Exterior replacement fixtures that are in keeping with the style of and are attached to the house need not be applied for.~~

~~a.~~

~~b. Applications for landscape lighting should include a site plan showing the location of each light, a picture or detailed drawing of the lighting, the dimensions, and a description of the materials of which it is made.~~

House Numbers

No Fast Track process available

~~1. All house numbers should be visible from the street and in a contrasting color from the background to which they are attached.~~

~~2. An Exterior Alteration Application is required for all Hhouse numbers and signposts not included with the original structure require an application except in the following cases:No application is required for house numbers in the following cases:~~

~~a. The numbers are hung from existing gas or electric exterior front yard lamp post and the sign containing such number is no more than 12 inches in length and 5 inches in height.~~

~~b. the-The house number is attached to the house, overhang of the house, or garage and does not exceed 12 inches in length and 5 inches in height.~~

~~c. The style matches the original house numbers.~~

~~3. An application is required for all other situations.~~

~~All house numbers should be visible from the street and in a contrasting color from the background to which they are attached.~~

Flag Brackets and Banners

Fast Track process available

~~1. Banners are defined as a piece of material attached to a staff or bracket displaying seasonal designs, characters, clubs, or organizations, etc. Banners may be displayed in brackets attached to the garage, on the front or rear of the house. There shall be no more than two (2) banners per property.~~

~~2. No Exterior Alteration Application is required for **one** flag holder bracket attached to a home. More than one bracket requires an Exterior Alteration Application.~~

~~8. Banners are defined as a piece of material attached to a staff or bracket displaying seasonal designs, characters, clubs, or organizations, etc. Banners may be displayed in brackets attached to the garage, on the front or rear of the house. There shall be no more than two (2) banners per property.~~

FAST TRACK Requirements:

Brackets eligible for the **Fast Track** process may only be attached to the wall adjacent to the garage door, the front entry door, or the front porch. No more than two brackets per dwelling. ~~must meet all the criteria above in addition to the following:~~

- ~~1. Brackets may only be attached to the wall adjacent to the garage door, the front entry door, or the front porch. No more than two brackets per dwelling.~~

Application Requirements for Decorative Objects, Lights, House numbers, & Flag Brackets:

- Site plan showing the location of each decorative object, light fixture (s), house number, and/or flag bracket.
- If proposed alteration is mounted to a structure, color photo of structure indicating location.
- Material description, to include dimensions, style, and color of proposed item.
- Color photo of proposed item.

GUIDELINE 12

DRIVEWAYS & PARKING PADS

No *Fast Track* process available

1. ~~No Application~~ Exterior Alteration Applications ~~are not~~ required for repairing or replacing already approved driveways or parking pads with the original construction material with no change in size, shape, or grade. ~~However, applications are required for all other repairs or replacements.~~
2. An ~~application~~ Exterior Alteration Application is required if there will be any change in materials, size, shape, or grade of driveway, including extensions and parking pads.
3. In general, driveways and parking pads must be constructed of Portland cement concrete, permeable concrete, or a comparable composite material for reasons of maintenance and appearance. Exceptions may be considered in certain circumstances (e.g. extremely long driveways, use of pavers) but strictly on a case-by-case basis. Materials of all driveways in the vicinity will be considered. Loose driveway materials (e.g., crushed stone) are prohibited.
4. ~~Applications shall include the following provisions:~~
 - a. ~~A site plan showing the dimension of the existing driveway or parking pad and details of the proposed changes.~~
 - b. ~~Its relationship to adjoining structure, property lines, streets, sidewalks (private and public).~~
 - c. ~~A description of the materials to be used.~~

Application Requirements:

- Site plan showing the dimensions of the existing driveway or parking pad and dimensions of the proposed driveway in relation to existing structures, such as walkways, street, and property lines.
- Material description, including color, texture, style, and pattern.
- Color photo of material and/or sample, showing any design. This is not required for unstained Portland concrete with no stamped pattern.

NOTE: ~~Howard County requires an Entrance Permit for any driveway work done in the County right-of-way. Residents should contact Howard County Department of Highways regarding changes to concrete aprons.~~

GUIDELINE 13

ELECTRIC CAR CHARGING STATION

No **Fast Track** process available

1. An Exterior Alteration Application is required for exterior installations of electric car charging stations.
2. No Exterior Alteration Application is required when the car charging station is located in an enclosed garage with no visible exterior elements.
3. The electric car charging station should have no exposed wiring.
4. The electric car charging station must be completely on applicant's property.
5. Homeowners in a townhouse or condominium community should contact their homeowners association (HOA) regarding any proposed charging station. If any portion of the proposed electric car charging station resides on common HOA property, that HOA must submit an Exterior Alteration Application in conjunction with the homeowner.

Application Requirements:

- Site plan showing exact location of the proposed electric car charging station.
- Material description, to include dimensions, colors, and style.
- Details of how the charging station will be wired.
- Maintenance plan details, if the station is going to be on HOA property and used by multiple residents.
- Color photo of proposed charging station.
- Color photo of proposed location.

GUIDELINE 14

FENCES

Fast Track process available ~~for Townhouse Privacy Fences*~~

1. ~~An Application~~Exterior Alteration Applications are is required for all fencing.
2. ~~Applications must include the following information:~~
 - a. ~~fence style (split rail, paddock/estate, picket, board-on-board) and materials,~~
 - b. ~~color of fence and house,~~
 - c. ~~dimensions,~~
 - d. ~~site plan showing the relationship of the fence to adjacent houses and open spaces and to property lines, including dimensions, and~~
 - e. ~~any other information that would be helpful in the review of the application, i.e., house materials or landscaping.~~It is strongly recommended that you have your property surveyed to establish property lines before installing any fence. It is solely the homeowner's responsibility to ensure that property lines are established and that no encroachment results.
3. Approvable fence styles include split rail, board-on-board, estate or paddock style, and picket. Chain link and stockade (solid) fencing will not be approved.
4. Property line fences for single-family dwellings must be split rail, estate or paddock style (except where builder installed as part of an original design concept). Townhouse fencing on the property line must be board-on-board style.
5. Board-on-board fencing is generally not approved for single family dwellings (except where builder-installed as part of an original design concept). Due to the solid nature of board-on-board fencing and the potential impact on the Columbia concept of open space and adjacent properties, this fence style should be used sparingly and for a specific screening purpose, e.g., to screen a patio or hot tub.. Board-on-board fencing will only be considered if located very close to the dwelling and within the rear sidelines of the home.
6. Residential fences must be constructed of wood, low maintenance vinyl in wood-tone color or acceptable composite material in wood-tone color.
7. Fencing shall-should match existing fencing on adjacent properties. A different fence style and/or material will be considered on a case by case basis. Considering factors include visibility and compatibility to existing fencing. Parallel fencing is not permitted.

8. Board-on-board fences may not exceed six feet in height; split rail and estate or paddock fences shall not exceed 48 inches measured from the top edge of the top rail.

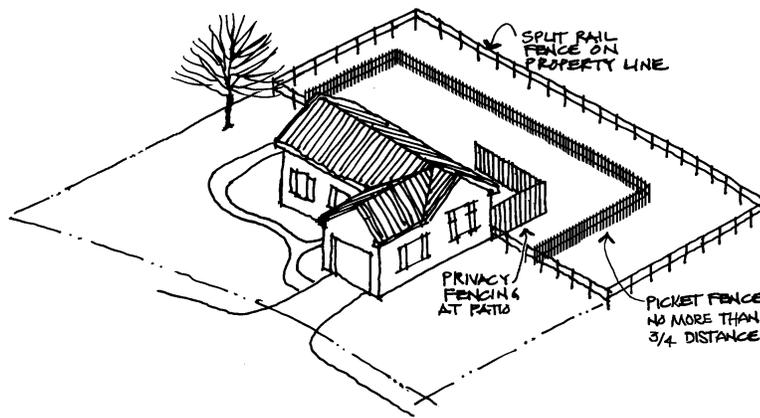
4.

9. Gates must match the fence in material, style, and color. Gates ~~must~~ should open inward unless property outside fence is also owned by resident applying.

~~— Solid or opaque fences may not exceed six feet in height; split rail shall not exceed 48 inches measured from the top edge of the top rail; estate or paddock style fencing shall not exceed 42 inches in height measured from the top of the post.~~

~~— As a rule, opaque (e.g., board-on-board) fencing will be approved only if located near the dwelling.~~

10. Picket fences are permitted no further than 3/4 of the distance from the house to the property line and may not exceed ~~42~~ 48 inches in height.

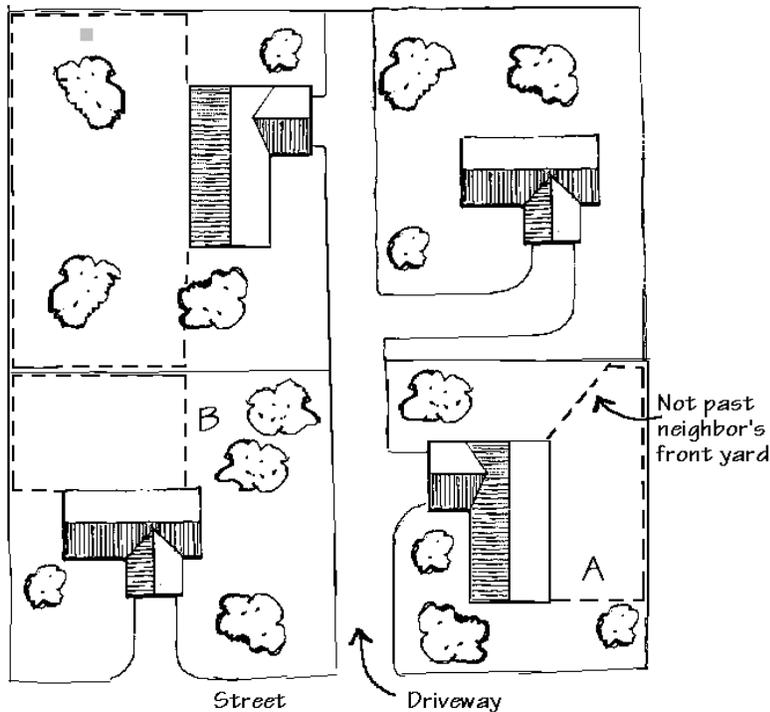


~~8-11. Fences should be installed up to the property line and shall not extend forward of the rear line of the house. Front yard fencing is not allowed (except where builder-installed as part of an original design concept.) Property line fences are generally discouraged, with the exception of townhouses. Townhouse owners should be aware that townhouse associations may have additional requirements or restrictions. Please contact your association officers.~~

~~9. Property line fences and fences distant from the residence shall be two or three rail type fences.~~

~~10. Property line fencing shall not extend forward of the rear line of the house.~~

11-12. On corner lots and flag lots (houses fronting on a ~~common~~ shared driveway), property line fences shall not extend past the side line of the house on the side of the house facing the street or the rear line of adjoining houses (see examples A and B in sketch below).



~~12-13. If Wire fencing (14 or 16 gauge) is used, it must be installed on the inside of the fence if applied for and approved, shall be applied to the inside of the fence, and may not extend above the top of the top rail.~~

~~13.A Howard County building permit may be required.~~

~~14. Although front yard fencing is discouraged, it may be approved if used for purposes of protection, entrance definition or privacy, if architecturally unified with the main structure and not inconsistent with the landscape and neighborhood. However, chain link fencing and combination hedge and wire mesh fencing will not be approved.~~

~~15-14. All fences must be installed face or board side out, post side in.~~

Fast Track Requirements ~~for Townhouse Privacy Fencing:~~

~~Fences eligible for ***Fast Track*** are Townhouse townhouse privacy fencing (board-on-board style), using pressure treated lumber left natural, and installed on the property line. is the only fencing eligible for the Fast Track. Applications must include all of the above.~~

Application Requirements:

- A site plan showing the location of the fence and gates.
- Material description, including the height, style, color, and if mesh wire will be used.
- Color photo of the fence style and gate style.
- A description of the style of any neighboring fences.

- Any other information that would be helpful, helpful, i.e. house materials or landscaping.

GUIDELINE 15

GARDEN PLOTS (RESIDENTIAL)

No *Fast Track* process available

1. ~~Written approval is not necessary for garden plots **provided** the following conditions are met:~~
 - a. ~~plot is located between the rear line of the house and the rear property line.~~
 - b. ~~size does not exceed one-quarter of the rear lot or 150 square feet, whichever is smaller.~~
 - c. ~~plot grade does not exceed a ratio of 2 feet to 100 feet.~~
 - d. ~~water flow does not damage lower-lying property.~~
 - e. ~~plot contents shall be limited to those items that have a mature height of 3.5 feet or less (Columbia Gardeners garden plots are available for those who wish to plant larger gardens, as required for corn and other items on a grander scale).~~
2. ~~An Exterior Alteration Application is required for all other garden plots that do not meet the above criteria as outlined in 1. above. Rain gardens and raised beds require an Exterior Alteration Application.~~

Applications are also not required for small plots placed at the back of the house so long as they do not extend more than 3 feet from the house and do not exceed the length of the house. This area is to allow owners to grow some items taller than permitted by item 1e above, without having to have a Columbia Gardeners garden plot. This area need not be included in the limitations in item 1b above.
3. ~~When an application is required, applications shall be submitted on a yearly basis. Previous upkeep and maintenance will be of primary importance in review of renewal applications.~~
4. ~~Planting areas shall be properly maintained at all times and after the first frost all affected material shall be removed. At the end of the growing season, all dead plants shall be removed, and the ground put back to the original grade. It is suggested that the bare earth be covered with straw, mulch, or similar cover to prevent soil erosion.~~
5. ~~Screening of gardens can be done with fences or natural plantings provided they are in accordance with their respective guidelines.~~

GUIDELINE 15

FIRE PITS AND GAS GRILLS (PERMANENT)

No *Fast Track* process available

Fire Pits (Permanent)

1. An Exterior Alteration Application is required for all permanent fire pits.
2. Fire pits must be located behind the rear line of the house and a minimum of twenty (20) feet from any structure.
3. Fire pits shall not be built in an area within 10 feet from any combustible vegetation, vertically and horizontally. This includes tree canopy.
4. Fire pits shall not exceed four (4) feet in diameter and two (2) feet in height.
5. The inner lining and surrounding material must be made of a non-combustible material such as fire brick and steel.
6. The fire pit must have a six-foot apron of pavers or non-combustible material around it consisting of a layer of mineral soil, sand, pea gravel, or concrete.
7. The size, style, color, and materials should be compatible with the home.
8. Fire pits must include a spark-resistant screen which fits on top of the pit and be equipped with spark arrestors.
9. Fire pits must conform to the Howard County Fire Code.

Gas Grills (Permanent)

1. An Exterior Alteration Application is required for all permanent gas grills. Gas grills need not have a formal application if:
- 1.—Permanentthe grills is—must be located behind the rear line of the house in an area not more than 15 feet from the rear of the house, is at least 10 feet from the rear property line and is at least 7 feet from any side property line.
3. —Permanentthe grills—is—must be permanently installed in a concrete base.
- d. The materials and size should be compatible with the size, style, and color of the house.

Application Requirements:

- Site plan showing the location of the proposed grill or fire pit and note distance between structures on the property.

- Material description, to include dimensions, colors, and style.
- Description of grill or fire pit base and fire pit cover.
- Color photo of proposed grill or fire pit.
- Information about additional lighting or other exterior alterations.

Note: It is the responsibility of the homeowner to ensure that any permanent gas grill or fire pit conforms to Howard County Fire Code.

GUIDELINE 16

GAZEBOS

No **Fast Track** process available

- ~~1. All An Exterior Alteration Application is required for gazebos. require an application.~~
2. The size of the gazebo must be in proportion to the deck if attached and/or to the house.
3. A gazebo must lie be located at least 10 feet from the property lines or within the building restriction lines, whichever is greater and may not come forward of the rear line of the house. The gazebo walls must not exceed 8 feet in height.
4. If the proposed structure will be painted or stained, (Please refer to Guideline 25 - Painting & Staining for any additional requirements.)

Application Requirements:

~~An application should include:~~

- ~~1. A site plan showing the proposed location of the structure.~~
- ~~2. Drawings showing the size, style and elevations of the structure and details of any railing (railing height must not exceed 42 inches), roof design, benches, etc.~~
- ~~3. List of materials Material description, including the decking, roof, and railing.~~
- ~~4. Description of any treatment to be applied to the material. Gazebos attached to a deck must have the same finish as the deck, freestanding gazebos must be consistent with the style-type, roof, and color of materials on the house.~~
- Description of any new or to-be-moved plantings.
- ~~5. Description of any equipment, such as meters or heat and air-conditioning sources, which will be relocated.~~

~~The size of the gazebo must be in proportion to the deck if attached and/or to the house.~~

~~A gazebo must lie at least 10 feet from the property lines or within the building restriction lines, whichever is greater and may not come forward of the rear line of the house. The gazebo walls must not exceed 8 feet in height.~~

~~(Please refer to Guideline 25 - Painting & Staining for any additional requirements.)~~

GUTTERS, ~~AND~~ DOWNSPOUTS AND RAIN BARRELS

No *Fast Track* process available

Gutters and Downspouts

1. No An application Exterior Alteration Application is not required for adding or replacing gutters and downspouts provided if all the following conditions are met:
 - a. ~~1.~~ There is no color change.
 - b. ~~2.~~ They are permanently affixed to the house.
 - ~~2.c.~~ No application is required for any gutter Gutter covering provided they matches the color of the replacement gutters. the existing gutters.
 - ~~3.d.~~ All drain Drain extensions must be are buried below ground.
2. No Exterior Alteration Application is required for adding gutter covering to existing gutters if the color matches.
3. It is not recommended that downspout empty onto hard surfaces.
4. All drain extensions must be buried below ground.
5. An Exterior Alteration Application is required for all gutters and downspouts that do not meet all the above criteria.

Application Requirements:

- Drawing, or color photo of house showing the proposed location of the gutters and downspouts.
- Material description, including dimensions and color.

Rain Barrels

1. Number of rain barrels should not exceed the number of downspouts.
2. Drainage, overflow, and runoff must be properly diverted and cannot flow onto neighboring properties.
3. Rain barrels must be maintained and should be kept free of standing water on or around anything not used as part of the rain barrel system to prevent mosquitos. Mosquito deterrents for rain barrels, such as mosquito dunkers or close netting is strongly recommended.

4. During the winter season, rain barrels should be stored and/or all water removed or maintained in such a way that water will not get into the receptacle and freeze. These steps will ensure prolonged barrel life and avoid maintenance issues.
5. No Exterior Alteration Application is required for adding or replacing a rain barrel if all the following conditions are met:
 - a. Rain barrel(s) do not extend forward of the rear line and the sideline of the house.
 - b. Rain barrel(s) may be positioned no further than 12 inches from the house.
 - c. Rain barrel(s) size must not exceed 65-gallon capacity and 48 inches in height.
 - d. Color of the rain barrel(s) must match either the siding color or the downspouts or be a natural earth tone color.
 - e. No more than four (4) rain barrels located on the property.
6. An Exterior Alteration Application is required for all rain barrels that do not meet all the above criteria and screening will may be required. Refer to Guideline 27 for Privacy Screening.
~~Adequate screening will be required for all rain barrel(s) that do not meet the above criteria. (Please refer to the guideline on Privacy Screening for additional requirements.)~~

Application Requirements:

- A site plan showing location of rain barrel(s).
- Material description, to include dimensions, capacity, style, and color.
- Number of rain barrel(s).
- Color photo of rain barrel(s).
- Mosquito prevention plan

~~An application is required for all other alterations that do not meet the above criteria.~~

~~**Adequate screening will be required for all rain barrel(s) that do not meet the above criteria. (Please refer to the guideline on Privacy Screening for additional requirements.)**~~

GUIDELINE 18

HOT TUBS AND WHIRLPOOLS

No **Fast Track** process available

1. ~~An Application~~ Exterior Alteration Applications ~~are is~~ required for all hot tubs and whirlpools.
2. All hot tubs and whirlpools shall be located in the rear yard, within the rear lines of the residence, and not more than 20 feet from the back of the house. The applicant's lot shall be of sufficient size that the tub does not create a substantial acoustical or visual impact on adjacent property owners.
3. ~~Applications shall include:~~
 - a. ~~a site plan showing the location of the tub or whirlpool in relation to existing structures and the property lines, and adjacent dwellings;~~
 - b. ~~signatures of all property owners surrounding the applicant's property~~
 - c. ~~the materials, type, color, and dimensions (include a manufacturer's drawing and/or photograph, if available);~~
 - d. ~~details of proposed screening/landscaping plans;~~
 - e. ~~an explanation of the disposal of wastewater.~~
3. Additional screening with fences and landscape buffers such as shrubs may be required to reduce the impact on adjacent property owners. (Refer to guideline on Privacy Screening.)
4. Wastewater shall drain into the existing plumbing of the residence, and adequate drainage will weigh heavily in the approval.
5. All designs of the hot tubs or whirlpools must include a lid with a locking mechanism for safety during periods of non-use.
6. All hot tubs and whirlpools located on townhouse/condominium property will be reviewed on a case-by-case basis.

Application Requirements:

- Site plan showing the location of the tub or whirlpool in relation to existing structures and the property lines.
- Material description, to include the dimensions, color.
- Color photo of proposed tub or whirlpool.
- Landscaping and/or screening plans.
- Drainage plan explaining wastewater disposal.

GUIDELINE 19

IN-HOME BUSINESS

No **Fast Track** process available

1. "No profession or home industry shall be conducted in or on any part of a lot or in any improvement thereon on the property without specific written approval of the Architectural Committee."* (*Long Reach Village Covenants, Section 11.02*) An In-Home business is defined as any business conducted on a residential lot, except for licensed in-home child day care as provided in the Maryland Homeowners Association Act. Sheltered housing and assisted living are considered an in-home industry and thus require an ~~application~~ExteriorIn-Home Business Application.

2. ~~An Exterior AlterationIn-Home Business Application is required for all in-home businesses as defined above. However, no Exterior AlterationIn-Home Business Application is required for teleworking (the business address is not the residence).~~

3. An ~~i~~n-~~h~~Home business approval once secured is not transferable to a new owner or new location.

~~In-home businesses are discouraged in the Village of Long Reach.~~

4. "The Architectural Committee, at its discretion, upon consideration of the circumstances in each case, and particularly the effect on surrounding property, may permit a lot or any improvement thereon to be used in whole or in part for the conduct of a profession or home industry." (*Long Reach Village Covenants, Section 11.02*)

5. "No such profession or home industry shall be permitted, however, unless it is considered by the Architectural Committee to be compatible with a high-quality neighborhood." (*Long Reach Village Covenants, Section 11.02*)

6. No sign or other advertising device of any nature shall be placed on the lot.

7. Supplies, products, and equipment must be stored out of sight and within a structure, such as the home or a shed.

~~6. A special application is needed and obtainable at Stonehouse in the Long Reach Village Center.~~

~~7. All applicants must include information on:~~

- ~~a. storage of business-related materials,~~
- ~~b. distribution of products and materials,~~
- ~~c. impact on neighbors of traffic and parking,~~
- ~~d. number and type of deliveries required,~~
- ~~e. operating hours, and~~

- ~~f. any other information that would be helpful in the review of the application.~~
- ~~g. Signatures of all property owners abutting and directly across the street from the applicant's property are required.~~
8. An applicant for any in-home business must reside on the property.
9. The business should be clearly secondary to the residential use of the dwelling.
10. The business shall not require the use of a commercial vehicle to be parked on the property.

Application Requirements:

- Description of the type of profession/home business.
- Description of where business-related materials will be stored.
- Information about distribution of products and materials.
- Operating hours.
- Description of impact on traffic and parking.
- Number of employees who will be working on premises.

NOTE: ~~Permission from the Howard County Zoning Board is also a requirement for the operation of such businesses. Architectural Committee consideration is contingent on obtaining approval.~~In-home businesses must comply with Howard County Zoning Regulations, Section 128.0 Supplementary Zoning District Regulations, C. Home Businesses.

GUIDELINE 20

LANDSCAPING (GARDEN PLOTS, PLANTINGS, RAIN AND ROCK GARDENS, TREE REMOVAL)

Garden Plots

No *Fast Track* process available

1. ~~Written approval is not necessary.~~ No Exterior Alteration Application is required for garden plots **provided if all of** the following conditions are met:
 - a. The plot is located between the rear line of the house and the rear property line.
 - b. The plot is NOT a raised bed style.
 - c. The size does not exceed one-quarter of the rear lot or 150 square feet, whichever is smaller.
 - d. The plot grade does not exceed a ratio of 2 feet to 100 feet.
 - e. The water flow does not damage lower-lying property.
 - ~~e. plot contents shall be limited to those items that have a mature height of 3.5 feet or less (Columbia Gardeners garden plots are available for those who wish to plant larger gardens, as required for corn and other items on a grander scale).~~
2. ~~An Exterior Alteration Application is required for all other garden plots that do not meet the above criteria as outlined in 1. above. Applications are also not required for small plots placed at the back of the house so long as they do not extend more than 3 feet from the house and do not exceed the length of the house. This area is to allow owners to grow some items taller than permitted by item 1e above, without having to have a Columbia Gardeners garden plot. This area need not be included in the limitations in item 1b above.~~
- ~~3. When an application is required, applications shall be submitted on a yearly basis. Previous upkeep and maintenance will be of primary importance in review of renewal applications.~~
3. Planting areas ~~shall be properly maintained at all times~~ shall always be properly maintained and after the first frost all affected material shall be removed. At the end of the growing season, all dead plants shall be removed, and the ground put back to the original grade. It is suggested that the bare earth be covered with straw, mulch, or similar cover to prevent soil erosion.
4. Screening of gardens can be done with fences or natural plantings provided they are in accordance with their respective guidelines. All garden fencing must be removed after the growing season.

Application Requirements:

- A site plan showing the locations and dimensions of the proposed garden plot in relationship to the property lines, house, and other property structures.
- Material description, including the dimensions, plant types, rocks, borders, landscape edging, fencing, and other proposed materials.

Plantings

No **Fast Track** process available

~~Fast Track process available for Landscape Edging*~~

Plantings

1. A master plan for landscaping is recommended even if planting is to be done in stages. It is strongly recommended that plantings be arranged in clusters or groups rather than in straight lines to give a more natural effect.
2. Watershed-friendly landscaping is encouraged:
 - a. Please use Maryland Native Plants for your landscapes whenever possible. Once established, these plants require little maintenance, establish deep root systems that hold soil in place, decrease the amount of water needed for landscape maintenance, and provide food and habitat for native wildlife. For native plant resources, visit <https://extension.umd.edu/sidebar/howard-county-pollinator-and-native-landscape>.
 - b. Please avoid planting invasive species including Bamboo, English ivy, Bradford Pear, Burning Bush. Invasive plants are easily spread by wind, seed, and root expansion, and often choke out native plants and kill trees. For a complete list of Maryland invasive plants, visit: https://mda.maryland.gov/plants-pests/Pages/maryland_invasive_plants_prevention_and_control.aspx.
 - c. Avoid over-fertilizing. If possible, let your grass clippings lie on the lawn, where they provide nutrients to the growing grass and can reduce fertilizer costs.
3. ~~1. No Application~~ Exterior Alteration Applications ~~will be~~ is required for ~~all~~ the following plantings: ~~except:~~
 - a. ~~FOUNDATION PLANTING~~ Foundation Plantings: ~~A~~ny planting within 4 feet of foundation of house, entrance walkway, garage or approved patio or deck and proportional at maturity to the size of the house, ~~and~~.
 - b. ~~MISCELLANEOUS PLANTING~~ Miscellaneous Plantings: ~~P~~lanting of one or two trees or shrubs such that they do not at any time form a living fence.
24. An Exterior Alteration Application is required for all other plantings except those outlined in 3. above.

3. Excavating an area for a design or grouping will constitute a landscape plan and an application will be required (note exceptions in items 1a and 1b above).
3. Using decorative objects (i.e., rocks, railroad ties, border fences, landscape edging) around plantings requires an application.
4. Applications shall include a description of the types and sizes of trees and plant material, including size of plants at maturity, and a site plan showing the relationship of plantings to the house and adjacent dwellings, the size and shape of flower/shrubbery beds, type of ground cover, and other preexisting landscaping.

Application Requirements:

- A site plan showing the locations and dimensions of the proposed plantings in relationship to the property lines, house, and other property structures.
- A design plan or diagram showing placement of all rock and/or plant material.
- Material description, including the dimensions, decorative objects, landscape edging, rocks, borders, fencing, and other proposed materials.
- Detailed description of all plant types including size at maturity.

Landscape Edging

Fast Track process is available

1. An Exterior Alteration Application is required for all landscape edging.

Fast Track Requirements:

Fast Track is available if the landscape edging material is wood, stone, or brick. The edging must be of a style to harmonize with the style of the house. Separate areas to be edged must be edged with material of the same style, color, etc.

Application Requirements:

- Site plan showing the location(s) of the landscape edging.
- Material description, to include dimensions, color, and style.
- Color photo and/or sample of the edging material.

Rain and Rock Gardens

No Fast Track process available

1. An Exterior Alteration Application is required for all rain and rock gardens.
2. White rocks are not permitted in the use of the garden. Rocks must be earth-tone colors such as tan, brown, and gray.
3. Any drainage or overflow must be properly diverted so it does not flow onto neighboring properties.

Application Requirements:

- Site plan showing the location and dimensions of the rain or rock garden in relationship to the property lines, house, and other structures on the property.
- A design plan or diagram showing the placement of all rock and/or plant material.
- Material description, to include size and color of rocks, and any plants.
- Color photo and/or sample of rock material.

Tree Removal

Fast Track process available

Trees

~~5. Any tree that presents an imminent safety hazard should be reported to the Covenant Advisor. An application Exterior Alteration Application is required to remove a tree with a circumference of 19 or more inches, measured at a point 2 feet above the ground (equivalent to 6" diameter). This provision applies to all such trees, whether alive or dead. All trees removed from a property and/or new tree plantings are recorded in the individual property files~~

~~No Exterior Alteration Application is required when removing a one (1) tree and replacing it with an at minimum 5-gallon container size tree.~~

~~No Exterior Alteration Application is required when a tree is fallen because of severe weather. The resident is **required** to contact the village office and provide color photo of the fallen tree, so a notation can be made in the property's lot file.~~

~~Application Exterior Alteration Applications for tree removal(s) as a general rule as a rule shall include a plan for replacement(s). This shall apply if:~~

- ~~there are fewer than three (3) trees on a single-family lot, excluding street trees planted by the County;~~
- ~~there are no trees in the front yard except street trees planted by the County;~~
~~or~~
- ~~there is no tree in front of the adjacent townhouses of a multi-family dwelling.~~

~~Naturally wooded lots are not to be thinned out in such a manner as to render them out of character with the rest of the immediate neighborhood.~~

~~8. Stumps from removed trees must be at ground level or below. The intent is that there be no sign that a tree was ever there.~~

~~continued...~~

~~GUIDELINE 26~~

PLANTINGS & TREES (continued)

~~Signatures of visually affected neighbors are required for any tree removal.~~

Naturally wooded lots are not to be thinned out in such a manner as to render them out of character with the rest of the immediate neighborhood.

No approval is required when a tree is fallen because of severe weather. The resident is required to contact the village office so a notation can be made in the property's lot file.

Trees not recommended for planting are: Silver Maple - brittle; Bradford Pear - prone to split and snap in rough weather; Sweet Gum - the spiked balls; Weeping Willow - roots seek out water in pipes; Hybrid Poplars - very shallow and invasive root system; Austrian Pines - all in this area are suffering and dying from Tip Blight Disease. THIS LIST IS USED BY HOWARD COUNTY AND THE STATE OF MARYLAND.

Fast Track Requirements:

Fast Track is available only for the removal of a dead tree(s).

Application Requirements:

- Site plan showing the location of the tree(s) to be removed, and location of any new tree plantings.
- The tree(s) should be marked (ribbon, etc.) to assist in identification during the site visit.
- Replanting plan, including the type and size at maturity, if applicable.

***Fast Track Requirements Landscape Edging**

Applications eligible for **Fast Track** must include all of the above and shall be for the items listed below only:

— Landscape edging of wood, stone, or brick. This edging must be of a style to harmonize with the style of the house. Separate areas to be edged must be edged with material of the same style, color, etc.

— Simple planting schemes.

NOTE: It is suggested that residents refer to the booklet *Residential Planting* published by the Rouse Company, 1970, before submitting an application. Copies are available for review at Stonehouse in the Long Reach Village Center.

Note: There are many plants, shrubs, and trees that not only thrive in our state, but help protect the environment. University of Maryland Extension's website extension.umd.edu is an excellent resource for information about native plants, shrubs, and trees.

MAINTENANCE

1. The Village Covenants (Article VI) provide that each owner shall keep his lot and all improvements thereon in good order and repair, including but not limited to, seeding, watering, mowing, pruning and cutting of all trees and shrubbery, and the painting or other appropriate external care of all buildings and improvements. This shall be done in a manner and with such frequency as is consistent with good property management. ~~Including but not limited to:~~

Note: An Exterior Alteration Application may be required for new or replacement exterior alterations. Please consult the respective Guideline for requirements.

a. **Bulk Items**

Bulk items are not to be stored or accumulated on any lot (including carports). Store bulk items out of sight or discard them. Do not cover items with a brightly colored tarp.

b. **Cul-de-Sacs**

~~Per Howard County Code, Adjacent homeowners are responsible under Howard County Code for the mowing and maintenance of the grass area between the sidewalk and the street. Maintenance~~ maintenance of the cul-de-sac islands is ~~also~~ the shared responsibility of the residents surrounding the cul-de-sac. ~~Any landscape alteration to the cul-de-sac requires approval by Howard County.~~

c. **Driveways**

Driveways that are deteriorating need to be repaired or replaced. ~~An approved application may be required.~~

d. **Fences**

Fences should be in good repair, standing straight with no broken or missing boards and no peeling paint. ~~An approved application is required for new fences, removing fences in some cases, or a change in style.~~

e. **Grass**

Grass should be mowed and trimmed on a regular basis during the growing season with the exception of natural landscaping using natural litter as mulch. Maintenance of the grass area between the sidewalk and curb are also the responsibility of the adjacent property owner (per Howard County Code) and should include appropriate mowing, trimming, weeding in the same manner and frequency as regular lawn care.

~~Tall W/weeds, and overgrown vines and plant material should be trimmed or removed in landscaped areas. Landscaped areas should also be kept free of weeds and overgrown plant material.~~

f. **Gutters & Downspouts**

Gutters and downspouts should be in place and secure, with no peeling paint. Gutters should be clean of tree debris and dirt. All drain extensions must be buried below ground. ~~An approved application may be needed for new gutters.~~

g. Holiday Decorations

Holiday decorations ~~on the exterior of the should be home may be in place -no more than thirty (30) days prior to and thirty (30) days following a holiday removed within 14 days after the holiday.~~

h. House Numbers

House numbers must be on every Lot or house and must be easily visible from the street. Do not paint house numbers on the curb, ~~as it is prohibited by Howard County. (Howard County does not allow house numbers to be painted on the curbs). An approved application may be required for new or replacement house numbers.~~

i. Lampposts & Exterior Light Fixtures

Lampposts should stand straight and should be free of rust. Light fixtures should not be crooked or have missing or broken light bulb coverings. Globes to cover the light bulbs should always be in place. ~~An approved application may be required when replacing or adding new light fixtures.~~

j. Leaf & Tree Debris

Yard, roof, and gutters should be cleared of leaves and debris on a regular basis during the respective seasons ~~with the exception of natural landscaping using natural litter as mulch.~~ Raking leaves and debris into the street, surrounding properties, open space, or ravines is prohibited. ~~An approved application is required for compost bins~~ Compost bins should be neatly maintained. Do not cover leaf piles or debris with a tarp.

k. Mold, Mildew & Algae

Mold, mildew, and algae should be removed from all structures as needed.

l. Paint

There should be no peeling paint or rotted wood on structures. ~~An approved application is required when any structure or trim is to be painted or stained a color different from its existing color. The new paint or stain is considered to be different if the color itself changes (for example, yellow instead of green) or if, while the color remains the same, it is lighter or darker than the original. No RAG approval is necessary~~ Exterior Alteration Application is required for repainting or re-staining when the color remains the same, provided the existing color ~~has~~ was been previously approved by the Resident Architectural Committee.

m. Patio & Walkways

Patios and/or walkways that are crumbled or raised should be repaired or replaced. ~~An approved application may be required.~~

n. Roof

The roof should be in good repair and of all one color. There should not be any accumulation of debris on the roof. ~~An approved application may be required when replacing the roof.~~

o. Screens

Screens should be in good repair and fit properly.

p. Shrubs

Shrubbery should not be overgrown for the size of the structure. Dead shrubs should be removed and properly disposed of. ~~An application may be required for planting shrubs.~~

q. Sidewalks

Sidewalks should be in good repair with no crumbling or heaving. The maintenance, including snow removal, of adjoining sidewalks is the responsibility of the property owner under Howard County Code law. This means if your lot abuts any section of a sidewalk, you are responsible for that portion of the sidewalk. ~~Maintenance of the grass area between the sidewalk and curb are also the responsibility of the adjacent property owner and should include appropriate mowing, trimming, weeding in the same manner and frequency as regular lawn care.~~

r. Siding

Siding should be securely intact and free of rotting wood, dirt, and mold. ~~An approved application is required for all siding.~~

s. Snow Removal

Sidewalks must be shoveled within 48 hours after the snow has fallen and is the responsibility of adjacent property owners and regulated by Howard County Code.

t. Street Trees

~~Problems—Maintenance of street trees, such as trimming, removal and replacement, falls under the purview of Howard County with street trees should be brought to the attention of Howard County~~ Bureau of Highways. To report a street tree issue, call—by—calling 410-313-7450, email highways@howardcountymd.gov, or use the Tell HoCo app.

u. Tarps

Brightly colored tarps are not allowed in the open on any lot.

v. Trash, Trash Containers & Recyclables

The following is a direct quote from Section 8.06 of the Long Reach Village Covenants: "If trash or other refuse is to be disposed of by being picked up and carried away on a regular basis, containers may be placed in the open, on any day that a pickup is made, at such a place on the lot so as to provide access to persons making such a pickup. At all other times, such containers shall be stored in such a manner so they cannot be seen from adjacent and surrounding property."

Trash containers should have secure lids on them. Except for scheduled trash curbside collection day, containers should ~~not be~~ stored in view out of sight.

No refuse, trash or bulk items/materials may be accumulated or stored on any lot. Trash, yard waste and recyclables should not be put out earlier than the afternoon prior to pick up day and should be stored out of sight by sunset of the ~~trash~~ collection day.

~~For information about Howard County's residential curbside collections and landfill, visit <https://www.howardcountymd.gov/Departments/Public-Works/Bureau-Of-Environmental-Services> or call 410-313-6444. on the use of the Howard County landfill may be obtained by calling 410/313-5410. For other trash information call 410/313-SORT (7678).~~

w. Trees

Dead trees or branches should be removed from the property with the exception of natural landscaping using natural litter as mulch or in designated wildlife habitat. It is the property owner's responsibility to keep all trees abutting sidewalks/pathways pruned to allow pedestrian passage. ~~An approved application is required for all tree removal.~~

x. Vehicles

Boats, trailers, inoperable vehicles, commercial trucks, vehicles without current registration, or any similar items are not allowed in the open on any lot. Vehicles may only be parked on driveways, parking pads or the street and may not be parked on the lawn or other areas of the lot.

Campers, recreational vehicles, and motor homes may not be stored in the open on any lot. Storage in open carports is not permitted. ~~Consult the telephone directory for alternative storage locations.~~ Renovation of vehicles or major repairs may not be undertaken except in enclosed garages. Only minor emergency repairs such as changing a tire, batteries, etc. are permitted.

y. Woodpiles

Woodpiles should be neatly stacked, placed inconspicuously on the property, and never covered with a brightly colored tarp. Woodpiles are never acceptable in front of the front line of the house or on driveways. No ~~exterior alteration application~~ Exterior Alteration Application is required if the woodpile is no more than one cord (4'wx8'lx4'h) and located behind the house. ~~All woodpiles larger than one cord require approval from the Architectural Committee.~~

z. Windows

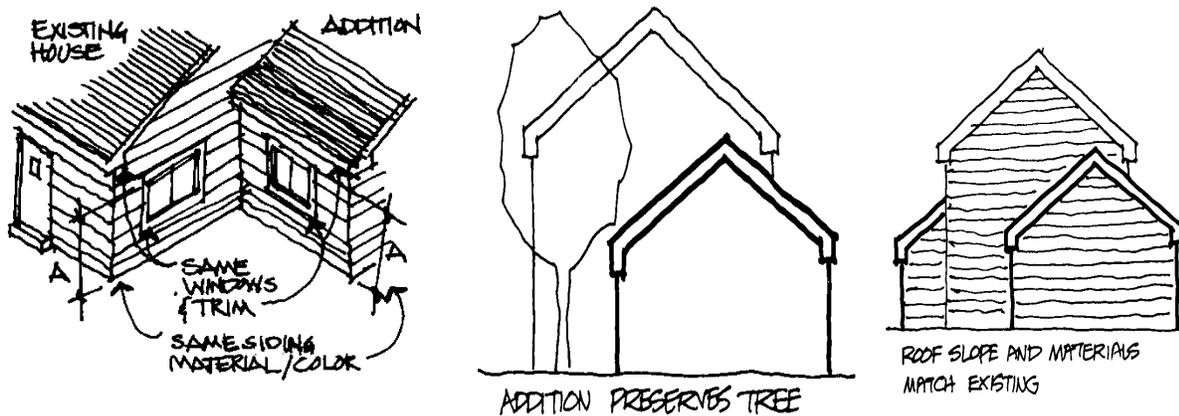
Window frames and sills should be kept in good repair and painted. Panes that are broken or fogged due to broken seals should be replaced. ~~An application may be required for windows.~~

GUIDELINE 22

MAJOR EXTERIOR BUILDING ALTERATIONS

No *Fast Track* process available

1. ~~An Applications-Exterior Alteration Application~~ are-is required for all major exterior building alterations to structures or property. Major building alterations include but are not limited to, construction of garages, carports, rooms, porches (both screened or regular) and other additions to a house. These major alterations require a Howard County building permit and the **Two-Step Process**, ~~as~~ outlined ~~in paragraph 4~~ below.
2. The architectural ~~design, style, and proportion-character or theme~~ of any ~~alteration structure~~ should ~~remain-be~~ consistent or compatible with ~~itself and others around it~~ the structure to ensure a cohesive aesthetic, ~~particularly with townhouses and other attached units. That is, once the character is established, whether it is traditional or contemporary, no portion should be changed or added which could conflict with or change the character of the structure.~~
3. Careful consideration should be taken for major exterior building alterations that significantly change the style and character of the structure in relation to the surrounding neighborhood.



3. All applications shall include:

- ~~a. signatures of all property owners surrounding the applicant's property,~~
- ~~b. site plan to show the location of the proposed structure, distances from neighboring structures, property lines and other identifiable landmarks,~~
- ~~c. detailed drawings and plans to include exterior elevations, exterior footprint, floor plans, changes in grade, etc., showing the relationship of the proposed structure to the existing dwelling and other buildings, and~~

- d. ~~specifications for exterior materials, to include type of siding on existing and proposed structures, color of existing house and trim, color samples of proposed structure and trim, exterior lighting arrangements, color of existing and proposed roof, and color and style of existing and proposed windows.~~

continued...

4. TWO-STEP PROCESS

a. **Step One Approval** - Approval of GENERAL CONCEPT AND PLAN

~~This~~ The application Exterior Alteration Application ~~should~~ must contain the basic information in paragraph 3 above listed under Application Requirements. Approval of this preliminary application Exterior Alteration Application does **not** constitute authorization for the construction of said structure.

- b. **Step Two Approval** - Within 60 days after obtaining the Step One approval, the resident applicant must submit a copy of the approved Howard County building permit along with a statement that Howard County did not require any exterior changes to the original application Exterior Alteration Application or the County did require exterior changes to the plans in the original application Exterior Alteration Application and ~~these changes are...~~ note the required changes. This statement must include all measurements, drawings, color samples, etc., pertinent to the application Exterior Alteration Application.

Application Requirements:

- ~~— Signatures of two property owners adjacent to applicant's property.~~
- Site plan showing the location of the proposed structure, distances from other structures and property lines.
 - Detailed drawings and plans to scale, to include exterior elevations, exterior footprint, floor plans, and changes in grade. These plans should show dimensions and locations of such features as floors, windows, rooflines, trim, and any new exterior lighting fixtures in relationship to the existing structure.
 - Material description, to include type of siding on existing and proposed alteration, siding and trim color on existing house and proposed alteration, exterior lighting arrangements, color of existing and proposed roof, proposed doors, and color and style of existing and proposed windows.
 - Description of any necessary landscaping changes, such as tree removal, if applicable.
 - Color photo of existing house.
 - Color photo of any lighting fixtures, if applicable.
 - Color photo of alteration to show design and style, i.e. screened porch, if applicable.

GUIDELINE 23

OPEN SPACE

1. Unauthorized use of open space is prohibited. Encroachments onto Columbia Association open space areas may be reported to Columbia Association by emailing open.space@columbiaassociation.org or calling 410-312-6330.
2. Open space areas are not provided as avenues for entry or exit to residential property by heavy equipment.
3. Contractors and/or residents are responsible for damage to open space areas resulting from such activities as construction, ~~and~~ storage, and delivery of materials.

GUIDELINE 24

PAINTING AND STAINING

No **Fast Track** process available

1. No Exterior Alteration Application is required for repainting or re-staining when the color remains the same, provided the existing color was previously approved.
2. ~~A completen application~~ Exterior Alteration Application is required when any structure or trim is to be painted or stained a color different from its existing color. The new paint or stain is considered to be different if the color itself changes (for example, yellow instead of green) or if, while the color remains the same, it is lighter or darker than the original.
1. ~~Color samples are required for all painting or staining. Samples should be no smaller than 3 1/2 x 5 inches and include the paint manufacturer name and the paint color, number, and type of finish (i.e., flat, satin, etc.).~~
- 2.3. Residents are discouraged from adding colors when three or more colors (such as door, trim or main house color) already exist.
- 3.4. Houses in Long Reach fall into two general categories - **contemporary** and **traditional**.
 - a. The use of land or earth tone colors will be encouraged in the repainting or re-staining of **contemporary** houses. However, it is recognized that changing styles and personal preferences influence each family's choice of color. In cases where the choice is not in the land color range, the prime consideration will be whether the house will continue to blend in a contemporary way with its surroundings.
 - b. Newly built, **traditional** houses in Long Reach have been finished in a wider range of colors than have contemporary houses. Many are paler, pastel colors or white, while others are brighter (high saturation) colors, especially blues and yellows. These are colors that traditionally have been used to differentiate - contrast - the house from its natural landscape and to set the house visually apart from its neighbors. Paler and brighter colors, as well as land colors, for traditional houses will be considered in the color ranges presently existing in the surrounding neighborhood.
 - c. When adjacent units, such as duplexes or townhouses, share an exterior material of the same color, every effort must be made to re-paint/stain or re-side with the original color unless adjacent properties agree simultaneously to repaint/stain or re-side in an approved new color. When weather damage to one side of a duplex requires re-siding, the new siding must match as close as possible to the original style and color. The exteriors of townhouses may not be changed from the original design.
 - d. Garages, carports, and outside storage areas (e.g., sheds) **MUST** be repainted/stained or re-sided at the same time as the house and must match

the house color siding exactly. Houses having shared carports or garages must maintain the same trim color on the shared unit.

Application Requirements:

- Site plan indicating all structures on the property that will be painted or stained.
- Description of areas to be painted or stained.
- Material description, to include the color name and number, manufacturer name, and type of finish (satin, flat, etc.) for all proposed paint/stain.
- Color samples, no smaller than 3 ½ x 5 inches.

GUIDELINE 25

PARKING AND STORAGE OF VEHICLES, BOATS, BUSES, AND TRAILERS

No *Fast Track* process available

1. Major vehicle renovation or repair shall not be undertaken except in enclosed garages. Outside storage on residential property of vehicles not properly tagged and/or without current registration is prohibited. This also applies to partially disassembled vehicles and other similar items.
2. Boats, buses, campers, commercial vehicles, trailers, inoperable vehicles, any vehicle without current registration, or any similar items shall not be parked or stored in the open on any lot.
- ~~3. Campers, recreational vehicles, commercial vehicles shall not be parked or stored in the open on any lot without prior written approval by the Architectural Committee. Exterior Alteration Applications are used for this purpose.~~
 - ~~a. All applications seeking exceptions must be accompanied by a plan for screening which might include fencing and/or planting.~~
 - ~~b. Exterior Alteration Applications are required for the parking of motor vehicles on other than the driveway or approved parking pad.~~
3. A commercial vehicle is one which has signage anywhere on the vehicle, is larger than a 3/4-ton van or pick-up truck or has attached or visible equipment such as ladders, tools, etc.

~~GUIDELINE 26~~

~~PLANTINGS & TREES~~

~~**Fast Track** process available for Landscape Edging*~~

~~Plantings~~

- ~~1. Applications will be required for all plantings, except:
 - ~~a. FOUNDATION PLANTING: any planting within 4 feet of foundation of house, entrance walkway, garage or approved patio or deck and proportional at maturity to the size of the house, and~~
 - ~~b. MISCELLANEOUS PLANTING: planting of one or two trees or shrubs such that they do not at any time form a living fence.~~~~
- ~~2. Excavating an area for a design or grouping will constitute a landscape plan and an application will be required (note exceptions in items 1a and 1b above).~~
- ~~3. Using decorative objects (i.e., rocks, railroad ties, border fences, landscape edging) around plantings requires an application.~~
- ~~4. Applications shall include a description of the types and sizes of trees and plant material, including size of plants at maturity, and a site plan showing the relationship of plantings to the house and adjacent dwellings, the size and shape of flower/shrubby beds, type of ground cover, and other preexisting landscaping.~~

~~Trees~~

- ~~5. Any tree that presents an imminent safety hazard should be reported to the Covenant Advisor. An application is required to remove a tree with a circumference of 19 or more inches, measured at a point 2 feet above the ground (equivalent to 6" diameter). This provision applies to all such trees, whether alive or dead. All trees removed from a property and/or new tree plantings are recorded in the individual property files~~

~~Applications for tree removal(s) as a general rule shall include a plan for replacement(s). This shall apply if:~~

- ~~a. there are fewer than three (3) trees on a single family lot, excluding street trees planted by the County;~~
 - ~~b. there are no trees in the front yard except street trees planted by the County;~~
~~or~~
 - ~~c. there is no tree in front of the adjacent townhouses of a multi family dwelling.~~
- ~~8. Stumps from removed trees must be at ground level or below. The intent is that there be no sign that a tree was ever there.~~

continued...

~~GUIDELINE 26~~

~~**PLANTINGS & TREES** (continued)~~

~~9.8. Signatures of visually affected neighbors are required for any tree removal.~~

~~10.8. Naturally wooded lots are not to be thinned out in such a manner as to render them out of character with the rest of the immediate neighborhood.~~

~~11.8. No approval is required when a tree is fallen because of severe weather. The resident is required to contact the village office so a notation can be made in the property's lot file.~~

~~Trees not recommended for planting are: Silver Maple – brittle; Bradford Pear – prone to split and snap in rough weather; Sweet Gum – the spiked balls; Weeping Willow – roots seek out water in pipes; Hybrid Poplars – very shallow and invasive root system; Austrian Pines – all in this area are suffering and dying from Tip Blight Disease. THIS LIST IS USED BY HOWARD COUNTY AND THE STATE OF MARYLAND.~~

~~***Fast Track** Requirements Landscape Edging~~

~~Applications eligible for **Fast Track** must include all of the above and shall be for the items listed below only:~~

~~1. Landscape edging of wood, stone, or brick. This edging must be of a style to harmonize with the style of the house. Separate areas to be edged must be edged with material of the same style, color, etc.~~

~~2.1. Simple planting schemes.~~

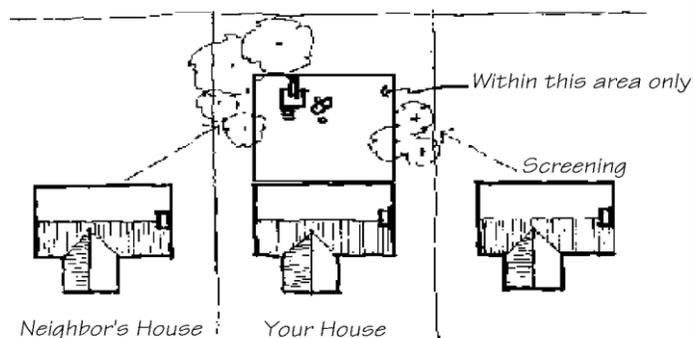
~~**NOTE:** It is suggested that residents refer to the booklet *Residential Planting* published by the Rouse Company, 1970, before submitting an application. Copies are available for review at Stonehouse in the Long Reach Village Center.~~

GUIDELINE 26

PLAY EQUIPMENT

No **Fast Track** process available

1. ~~An Application~~ Exterior Alteration Applications are is required for all play equipment, playhouses, etc.
2. The equipment should be located within the extended lines of the house and no more than 20 feet from the rear of the house or $\frac{2}{3}$ the distance from the house to the rear property lines, whichever is less (see sketch).
3. The overall size of the play equipment should be proportionate to the site (i.e., not seem in any way to dominate the site or stand as a primary feature of the lot). Unless there are extenuating circumstances, multiple, permanent items of play equipment must be concentrated in one area of the rear of the property.
4. It is recommended that plantings or fencing be used to screen equipment from view of adjoining properties. ~~(See Guidelines on~~ Planting Privacy Screening and Fencing.)
5. ~~Wooden equipment~~ Play equipment constructed of wood or wood-like material (composite) is encouraged. ~~Plastic and metal~~ equipment is discouraged.
6. The main body of the play equipment is required to be natural wood color, brown, green, or grey. An attached slide and/or swing seat and the canvas top attached to some play sets may be a color other than natural wood color, ~~brown, green, or grey.~~



GUIDELINE 27

POOLS (PRIVATE)

No **Fast Track** process available

1. Private pools are generally discouraged because there are very few locations in residential areas where they can be placed without adversely affecting adjacent properties.
2. The two types of private pools that may be acceptable for the Village are:
 - a. ~~C~~children's wading pools (those that can be emptied at night) that do not exceed 18 inches in depth and whose surface area does not exceed 36 square feet.
 - b. ~~in-ground pools, that are more than 18 inches in depth and whose surface area exceeds 36 square feet.~~
3. The Village of Long Reach prohibits above-ground pools.
4. ~~No Exterior Alteration Application is required for C~~children's wading pools ~~(2a above) do not require an application.~~
- 4.5. ~~An Exterior Alteration Application is required for in-ground pools.~~ Because large pools (those that are 24 inches deep or have a surface area of 250 square feet or more) require a Howard County building permit, the **Two-Step Approval Process**, outlined in paragraph 9 below, must be followed.
- 5.6. ~~Size of pools~~Pool size ~~should is be~~ based on lot size ~~and must,~~ be in ~~reasonable proportion~~proportion to the house and conform to Howard County building codes.
- 6.7. A 6-foot ~~solid privacy fence~~board-on-board fence ~~compatible with the style of the dwelling shall is be~~ required to enclose the pool and other related facilities. Approval of the fence is contingent upon completion of the pool.
- 7.8. Pools ~~shall~~must be located behind the house.
8. ~~All applications for private pools shall include:~~
 - a. ~~signatures of all property owners surrounding the applicant's property, and~~
 - b. ~~site plan showing location and dimensions of the pool, other equipment, fences, etc., in relation to the applicant's property lines, adjacent dwellings, and other identifiable landmarks.~~
9. **TWO-STEP APPROVAL PROCESS**
 - a. **Step One Approval** - Approval of GENERAL CONCEPT AND PLAN.

This ~~application~~Exterior Alteration Application ~~should contain the basic information in paragraph 8~~must contain all Exterior of the Alteration Application Requirements listed below. ~~above.~~ Approval of this preliminary ~~application~~Exterior Alteration Application does **not** constitute authorization for the construction of said structure.

- b. **Step Two Approval** - Within 60 days after obtaining the Step One approval, the resident must submit a copy of the approved Howard County building permit along with a statement that Howard County did not require any exterior changes to the original ~~application~~Exterior Alteration Application or the County did require exterior changes to the plans in the original ~~application~~Exterior Alteration Application and these changes are . . . This statement must include all measurements, drawings, color samples, etc., pertinent to the ~~application~~Exterior Alteration Application.

Application Requirements:

- Site plan showing the location and dimensions of the pool, its associated equipment, fences, etc., in relation to the applicant's property lines, structures on the property, and other identifiable landmarks.
- Drawings of the proposed pool, with dimensions, showing:
 - Deck areas
 - Patio
 - Lighting
 - Walkways
 - Fencing
 - Other structural changes
- Material description, including dimensions, style, and colors of all elements.
- Color photos and samples of the proposed materials.
- Landscaping plan if any changes.
- Grading plan.

Note: It is the responsibility of the property owner to conform to all Howard County codes and obtain the appropriate permits.

GUIDELINE 28

PRIVACY SCREENING

No *Fast Track* process available

1. ~~An Applications Exterior Alteration Application are is~~ required for privacy screening of any type. A screen is considered to be any permanent or semi-permanent structure that limits viewing of a given area.
2. ~~The Architectural Committee may require landscape or fence screening as part of, but not limited to, the following exterior alterations; clothes lines, antennas and satellite dishes, basketball units, compost piles, animal shelters and dog runs, garden plots, heating and air conditioning units, hot tubs and whirlpools, lawn ornamentation, patios and walkways, play equipment, pools, sheds, rain barrels and storage units. Privacy screening may be required for certain exterior alterations to reduce the visual impact to neighboring properties. ensure that the property rights of others are not compromised.~~
3. ~~The purpose of this guideline is to ensure that the property rights of others are not compromised because of a resident's exterior alteration.~~

~~— While there are numerous types of shrubbery and fencing material that would screen a structure, the Resident Architectural Committee (RAC) may recommend a certain width, height, and type of landscaping/fencing material for a particular alteration. (See Guidelines for Landscaping and Fences.)~~

- ~~2. Applications shall include:~~
 - a. ~~Site plan showing the relationship of the privacy screen to existing structures and the property lines, and adjacent dwellings;~~
 - b. ~~a scale drawing of the object to be screened and the location, variety, width, height, and description of landscape screening (including elevations if relevant);~~
 - c. ~~descriptions should include the size of the tree/shrub at planting and the projected size at maturity;~~
 - d. ~~with fences, include the material of the fence, the height, style, and color. (Please refer to the guideline on Fencing for additional requirements.)~~
4. ~~When an application is approved contingent on a provision for landscape screening, plants shall be a fast-growing variety, and of sufficient density to provide immediate impact. Planting material shall be 2/3 the height of the object to be screened, or 4 feet tall, whichever is greater.~~

Application Requirements:

- Site plan showing the location of the privacy screen in relationship to existing structures and the property lines.

- Scaled drawing of the object to be screened showing the width and height of screening (including elevations if applicable).
- Description of plantings, to include dimensions, types, current size, and size at maturity, if applicable.
- Description of fencing, to include dimensions, material, and color, if applicable.

GUIDELINE 29

RADON REMEDIATION PIPES

No *Fast Track* process available

1. No ~~application~~Exterior Alteration Application is required for radon remediation pipes ~~provided~~if all the following conditions are met:
 - a. The pipe is in the rear or side of the house.
 - b. The pipe is extended all the way to the roof line.
 - c. The pipe matches or blends with the exterior to which it is attached.
2. ~~All others require an application.~~An Exterior Alteration Application is required if one or more of the conditions above are not met.

Application Requirements:

- A site plan showing the exaction location of the proposed radon unit.
- Material description, including dimensions, and colors.
- Color photo of house showing the location of the proposed piping.
- Landscaping/screening plan, if applicable.

RAMPS, RAILINGS, AND ACCESSORY MOBILITY STRUCTURES

Fast Track process available

1. An Exterior Alteration Application is required for any new accessory mobility structure or any changes to an existing approved structure. Examples of this type of structure include wheelchair ramps or lifts, stair lifts and railings, as well as changes to walkways or decks to assist the mobility of the resident.
2. When designing an accessibility structure, consider creating a design that is harmonious, to the extent possible, with the style and color scheme of the home.
3. Materials that are often used include metal, natural wood, composite decking, and vinyl railings.

Fast Track Requirements:

The Fast Track process is available only for metal wheelchair ramps, such as those that may be rented from medical equipment supplies that are removable at a future date.

Application Requirements:

- Site plan showing the location of the proposed structure drawn to the proper scale.
- Elevation drawings of the proposed structure that include dimensions. Include views of all visually affected sides of the property.
- Material description, to include color and style.
- Color photos and/or samples of proposed equipment.
- Details about any additional alterations that will be installed to accommodate the mobility structure, such as lighting, landscaping, or pathways.

GUIDELINE 31

~~RENTAL PROPERTIES, BOARDERS, SHARED LIVING~~

No *Fast Track* process available

- ~~1. Howard County requires the licensing of any rental unit and an inspection of the premises. All known rental units are reported to the County. Property Owners are held responsible for the property's covenant compliance and disclosure of requirements to tenants.~~
- ~~2. Transient roomers or boarders will not be permitted, nor the keeping of more than two roomers or boarders within a unit. (A transient is defined as a person not having a valid lease for more than six months.)~~
- ~~3. A residence may not be subdivided, partitioned, have additional kitchens or efficiencies, or separate and exclusive entrances. All occupants must have equal and unrestricted use of the common area.~~
- ~~4. Vehicle parking is a prime concern, especially in high-density areas. **Vehicles should not exceed the number of spaces assigned to the dwelling unit.**~~

RETAINING WALLS AND WALKWAYS

No *Fast Track* process available

1. No Exterior Alteration Application is required if the patio and/or walkway replaces an existing patio and/or walkway with an identical material or material similar in color and texture, and the dimensions, including the location, of the patio and/or walkway remain the same.
2. An Exterior Alteration Application is required for retaining walls and walkways in all other situations.
3. Retaining walls and walkways should disturb the existing contours as little as possible. Terracing is to follow existing land contours and should be built in small increments, or a safety railing should be provided.
4. Material should be of a natural color such as concrete, stone, slate, clay/brick pavers or wood. White rocks are not permitted.
5. Material, color, and scale of retaining walls and/or walkways must be compatible with the house and any nearby structures.

Application Requirements:

- Site plan showing the location of proposed retaining wall(s) and/or walkway(s) in relationship with the property lines, structures, and other identifiable landmarks.
- Material description, including dimensions and colors. This is not required for unstained Portland concrete with no stamped pattern.
- Description of proposed lawn contour changes, plantings, screening, railings, benches, and exterior lighting, if applicable.
- Color photo and/or sample of material used.

GUIDELINE 32

SATELLITE DISHES AND ANTENNAS

No *Fast Track* process available

SATELLITE DISHES

1. No ~~application~~Exterior Alteration Application is required for a satellite dish if all the following conditions are met:
 - ~~1.a. They are~~The dish is not larger than one meter (39 inches) in diameter.
 - ~~2. They are installed in the least visible location and in such a manner as to blend with the surroundings.~~
 - ~~3.b. They are~~The dish is not installed on a pole or mounting device exceeding 12 feet in height.
 - ~~4.c.~~ The cables and wires are secured in an inconspicuous manner.
 - ~~a.d.~~ The color and finish of the dish result in minimum visibility.
2. An Exterior Alteration Application is required if one or more of the conditions above are not met.

TELEVISION BROADCAST ANTENNAS

1. No ~~application~~Exterior Alteration Application is required for television broadcast service antennas if all the following conditions are met:
 - ~~1.a.~~ The antenna is 12 feet or less in height.
 - ~~2.b.~~ The combination of antenna and any mounting device is 12 feet or less in height.
2. An ~~application~~Exterior Alteration Application is required if one or more of the above conditions are not met.

OTHER ANTENNAS

1. An ~~application~~Exterior Alteration Application is required for all other outdoor antennas. Generally, only one exterior antenna will be allowed per lot. No tower or mounting device may be utilized.
2. ~~They~~The antenna should consist of a single vertical unit with no horizontal, diagonal, or circular elements.
- ~~4.3.~~ Their height, including mast, should not exceed 10 feet when measured from the surface on which they are mounted.

4. Approval will be based on visibility of the antenna to surrounding properties and the public.

Application Requirements:

- Site plan showing the location of the proposed satellite dish and/or antenna.
- Material description, to include dimensions and color.
- Color photo of the satellite dish and/or antenna.
- Landscaping or screening plan, if applicable.

SECURITY CAMERAS

No *Fast Track* process available

1. No Exterior Alteration Application is required for security cameras if the following conditions are met:
 - a. Doorbell style cameras installed in the doorbell location.
 - b. Wireless cameras no larger than 4" wide by 4" length by 4" height.
 - c. The placement of no more than 4 cameras on the property.
 - d. Camera exterior color should be black, white, or matching the color of the surface to which it is attached.
2. An Exterior Alteration Application is required if all the conditions in 1 above. are not met.
3. The number of cameras is reasonable to the size and appearance of the property.
4. The cameras do not detract from the residential look of the neighborhood.
5. Camera exterior color should be black, white, or matching the color of the surface to which they are attached.
6. Cameras proposed for placement on shared carports or garages require an Exterior Alteration Application.

Application Requirements:

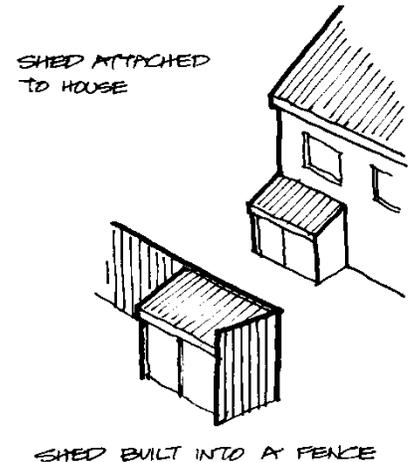
- A site plan of the property.
- A photo of the house and/or structure(s) indicating the location of the cameras.
- The number of proposed cameras.
- Material description, to include dimensions, color, and style.
- A color photograph or a manufacturer's illustration.

GUIDELINE 34

SHEDS

Fast Track process available ~~for some Sheds~~

- ~~Application~~An Exterior Alteration Application ~~iss shall be~~ required for all sheds and outdoor storage sites. This includes any permanent structure built to house tools and provide extra storage outside the existing house and any temporary storage units or containers. ~~The Committee's review will be influenced by the extent to which the shed complements existing structures in design and siting.~~
- ~~The Committee refers applicants to Residential Storage Sheds, published by The Rouse Company, 1974, which is available for review at Stonehouse in the Long Reach Village Center.~~
- Sheds should be located behind the house, as close to the house as possible, and **preferably attached to the house**. However, consideration will be given if a location such as the back of a lot in a heavily wooded area is preferred, ~~the Committee will give it consideration.~~
- ~~4. Sheds attached or located close to the house should be of the same materials (roof and siding) and colors as the house. Materials will be the same as those used for the house, i.e., wood for wood-sided houses and aluminum for aluminum-sided houses, of the same quality and color. If the house is restyled, sided or any color change made, any existing shed shall must match. Sheds located in other locations on the lot may be of an earth tone color.~~
- The structure must be compatible in architectural style with the house.
- ~~Roofing material shall match house roofing material.~~
- ~~Any shed attached to a fence must match the fence. All others must match the house.~~
- ~~If the house is restyled, sided or any color change made, any existing shed shall match. Decorative embellishments, such as weather vanes, (e.g., eagles, etc.) will not be permitted. are discouraged.~~
- The size should be based on lot size and topography, be in reasonable proportion to house or fenced area, and slope, conform and conform to Howard County building



codes, and be in reasonable proportion to house or fenced area. Sheds should generally not be larger than 100 square feet.

9. Generally, only one shed is allowed per property.
10. ~~Please check with your respective townhouse or condominium association to ascertain if any restrictions apply for storage containers and sheds prior to submitting an application to Long Reach Community Association. It is the homeowner's responsibility to ensure compliance with any townhouse or condominium covenants and guidelines. Townhouse sheds will be reviewed on a case-by-case basis and must be approved by the townhouse/condominium association before submission to the Long Reach Community Association.~~
11. ~~11.~~ ~~11.~~ ~~No Exterior Alteration Application is required for P~~plastic paneled storage containers/sheds (i.e., Rubbermaid®, etc.) for units in townhomes or condominiums ~~do not require an E~~exterior ~~A~~alteration ~~A~~application ~~if the following conditions are met:~~
 - a. ~~if the~~The storage containers/shed ~~is~~are placed either abutting the privacy fence and/or the rear wall of the house.
 - b. ~~The storage container/shed does not, do not~~ exceed a height of six (6) feet or the height of the privacy fence if less than six (6) feet.
 - c. ~~The color of the container/shed is a neutral color (tan, gray) or matches the color of the house or fence to which it is located.~~
~~Please check with your respective townhome/condominium association to ascertain if any further restrictions apply.~~
12. ~~These Plastic paneled~~ storage containers/sheds on single-family house lots must be placed abutting the rear wall of the house and ~~are may~~ not ~~to~~ exceed six (6) feet in height. There will be only one (1) plastic paneled storage container/shed allowed per property. No other exterior storage sheds are allowed in combination with these types of storage containers/sheds.
12. ~~All applications shall include:~~
 - a. ~~site plan showing relationship of the shed to the house and property lines,~~
 - b. ~~picture and/or detailed drawing of the shed, including shed dimensions, style, and locations of door(s) and/or windows,~~
 - c. ~~list of materials to be used, and~~
 - d. ~~color of shed, along with the house and trim colors.~~
13. ~~Landscape screening may be required to soften the visual impact of the shed from neighboring properties. Any shed approved not attached or adjacent to the rear of the house should be completely screened from other lots and/or the street by evergreen plantings. A minimum size of a two-gallon container is required. (Please refer to the~~See Gguideline ~~on for~~ Privacy Screening ~~for additional requirements)~~

- ~~14. Applications shall be required for all temporary storage units (e.g., PODS) that will be placed on the lot longer than fourteen (14) days.~~

Fast Track Requirements:

Sheds eligible for the ***Fast Track*** process must meet all criteria above in addition to the following:

1. Sheds must be no larger than 6' x 6' in floor size and attached to the rear of the house.

Application Requirements:

- Site plan showing the location of the shed in relationship to the house and property lines.
- Material description, to include dimensions (length, width, and height), style, colors, ~~roofing~~roofing, and location of door(s) and/or windows.
- Description of any decorative embellishments (flower boxes, etc.).
- Color photo of shed or drawing.
- Landscaping plan, if applicable.

NOTE: If you have questions about whether or not a permit is required for your shed, please Call call the Howard County Department of Licenses - Building Permits and Permits Office, at 410-313-2455, for information.

SIDING, SHUTTERS, AND ROOFING, ~~AND RESTYLING~~

Fast Track process available ~~for some Siding*~~

Siding

1. No Exterior Alteration Application is required for siding in the following situations:

- a. Vinyl siding is being replaced with vinyl siding in same color, texture, and style.
- b. Wood siding is being replaced with wood siding in same color, texture, and style.
- c. Aluminum siding is being replaced with vinyl siding in same texture, color, and style.

2. An Exterior Alteration Application is required for all other situations not listed in 1. above.

~~1. A complete application is required for all siding, roofing, or restyling. No RAC approval is necessary for re-roofing when color remains the same as the original or previously approved color and material.~~

~~2. Material and color samples must be provided.~~

~~3. It is the owner's responsibility to find out whether proposed materials meet Howard County building and fire codes.~~

3. If the proposed material differs in color or texture from the existing material or if it results in change in architectural style, it should be consistent or compatible with the style and color of materials on houses immediately surrounding it. ~~It is the responsibility of the applicant to check which styles and colors have been approved.~~ Where new construction meets old, materials being used should blend together.

- a. When adjacent units, such as ~~duplexes or~~ townhouses, share an exterior material of the same color, every effort must be made to re-side/re-roof with the original color unless adjacent properties agree simultaneously to re-side/re-roof in an approved new material. ~~When weather damage to one side of a duplex requires re-siding, the new siding must match as close as possible to the original style and color.~~ The exteriors of townhouses may not be changed from the original design.
- b. Garages, carports, and outside storage areas (i.e., sheds) **MUST** be re-sided/re-roofed at the same time as the house and must match the house color/~~style~~ siding/roof shingles exactly.

5. ~~The style of existing trim work at soffits, corners, eaves, windows, and doors, and of accent panels, shutters or other stylistic features should be retained in the siding design. This will be considered an important requirement where these elements contribute to the visual continuity of the neighborhood by evoking similarities in style among nearby houses. Where new construction meets old, materials being used should blend together.~~
6. ~~Applications shall include the standard information plus a description of proposed treatment of outbuildings, such as sheds. Siding or painting of such structures may be required.~~
7. ~~In those cases where residents wish to alter the stylistic features of the existing facade (for example, by replacing rough, vertical-groove panels with smooth, horizontal-clapboard siding or by adding shutters or accent panels), the Architectural Committee will render a decision based on:
 - a. ~~the size and shape of the residence in relation to existing and proposed materials,~~
 - b. ~~compatibility to and the variety of styles and materials of the houses immediately surrounding the residence, and~~
 - c. ~~the overall visibility of the residence from nearby public and private properties.~~~~

Fast Track Requirements:

Siding eligible for the **Fast Track** process must meet all criteria above in addition to the following:

1. No change in style or materials, e.g., horizontal to horizontal, vertical to vertical, vinyl or aluminum to vinyl or wood to wood.

Application Requirements:

- Location description (house, trim, carport, garage, shed, etc.). Please describe the proposed treatment of any out-buildings, such as carports and sheds. Re-siding or repainting of such structures may be required.
- Material description, to include color, texture, and style.
- Color photos or samples of proposed materials.
- Color photo of existing structures to be re-sided.

Shutters

1. No Exterior Alteration Application is required for shutters if all the following conditions are met:
 - a. Existing shutters are replaced with same color and style.
 - b. Shutter material must be wood, plastic, or vinyl.

2. An Exterior Alteration Application is required to add shutters, alter the location, or change the color or style.

Application Requirements:

- Material description, to include color and style.
- Location description (all windows, front windows only, upper windows only, etc.)
- Color photo or sample of proposed shutters, showing color and style.
- Color photo of existing shutters, if applicable.

Roofing

~~1. A complete application is required for all siding, roofing, or restyling. No RAC approval is necessary for re-roofing when color remains the same as the original or previously approved color and material.~~

1. No Exterior Alteration Application is required for roofing in the following situations:

- a. Roof will be replaced with the same roof material and color as existing.
- b. Roof will be replaced with an architectural style shingle of the same material and color as existing shingle.

2. An Exterior Alteration Application is required for all other situations not listed in 1. above.

3. If the proposed material differs in color or texture from the existing material or if it results in change in architectural style, it should be consistent or compatible with the style and color of materials on houses immediately surrounding it. Where new construction meets old, materials being used should blend.

- a. When adjacent units, such as townhouses, share an exterior material of the same color, every effort must be made to re-side/re-roof with the original color unless adjacent properties agree simultaneously to re-side/re-roof in an approved new material. The exteriors of townhouses may not be changed from the original design.

- b. Garages, carports, and outside storage areas **MUST** be re-sided/re-roofed at the same time as the house and must match the house color/style siding/roof shingles exactly.

Application Requirements:

- Location description (house, carport, garage, shed, etc.).
- Material description, to include color and style.
- Color photos or sample of proposed material.
- Color photo of structure(s) to be re-roofed.

Fast Track Requirements for Siding

Siding eligible for the ***Fast Track*** process must meet all criteria above in addition to the following:

1. ~~No change in style or materials, e.g., horizontal to horizontal, vertical to vertical, vinyl or aluminum to vinyl or wood to wood.~~

GUIDELINE 36

SIGNS

No **Fast Track** process available

1. No "Sold" or "Under Contract" signs or strips across "For Sale" signs are permitted in Columbia.
2. Political Signs may not be posted in the community's common areas and must meet the criteria of Howard County, Maryland, and Federal law.
3. No sign shall interfere with vehicular or pedestrian traffic, obstruct traffic sight lines, or otherwise impair safety. The sign must be at least 20 feet from the adjacent curb or street.
- 1.4. ~~An application is not~~No Exterior Alteration Application is required for the following signs if they are in compliance with the Howard County Sign Ordinance: required for political signs, temporary signs such as garage sale signs if in addition to being in compliance with the Howard County Sign Ordinance, they meet the following criteria:

~~Realtors are permitted to use their logos, trademarks, and color schemes.~~

- a. "For Sale" or "For Rent" signs do not require ~~application~~Exterior Alteration Applications provided the following guidelines are met. Realtors are permitted to use their logos, trademarks, and color schemes.:
 - i. ~~a.~~—Signs should be no larger than 20-30 inches by 28-36 inches.
 - ii. ~~b.~~—Signs ~~shall~~must be erected on posts of sufficient strength to avoid bending or warping.
 - iii. ~~c.~~—Signs ~~shall~~must stand no more than 4-6 feet above the ground.
 - iv. ~~d.~~—No more than one sign shall be erected on any given property ~~unless it is a corner lot or of sufficient size - larger than one acre - to warrant two signs (two signs are the maximum allowed); and.~~
 - v. ~~e.~~—Signs ~~shall~~must be maintained in good condition.
- b. Off-site directional signs (open house/ garage sale) are permitted as follows:
 - i. ~~a.~~—One off-site sign will be allowed at the intersection closest to the house for sale.
 - ii. ~~b.~~—The signs shall remain standing only during the hours of the open house/ garage sale.
 - iii. ~~c.~~—Signs ~~shall~~must not be posted on trees, light poles, street signs, or official village neighborhood identification signs.
- c. Standard home security signs may be attached to the front of the house. Freestanding home security signs up to 12 inches square are permitted under the following conditions:
 - i.a. —Signs must be mounted on a metal stake or wood post located no further than 10 feet from the house.

~~ii.b. — Only one such sign may be placed in front of the house. Another may be placed in the rear of the house.~~

~~d. — Political signs if in compliance with Howard County Sign Ordinance and Federal law.~~

~~5. 3. — An Exterior Alteration Application is required for signs that do meet the criteria in 1. above.~~

~~— No “Sold” or “Under Contract” signs or strips across “For Sale” signs are permitted in Columbia.~~

~~— 4. — Political Signs may not be posted in the community’s common areas and must meet the criteria of Howard County, Maryland, and Federal law.~~

~~1. 5. — Standard home security signs may be attached to the front of the house. Freestanding home security signs up to 12 inches square are permitted under the following conditions:~~

~~1. a. — Signs must be mounted on a metal stake or wood post located no further than 10 feet from the house.~~

~~1. b. — Only one such sign may be placed in front of the house. Another may be placed in the rear of the house.~~

~~1. — No sign shall interfere with vehicular or pedestrian traffic, obstruct traffic sight lines, or otherwise impair safety. The sign must be at least 20 feet from the adjacent curb or street.~~

~~No other signs shall be permitted on any lot without submission of and approval of an application. Only address, name, reasonable size, with color and size blending in with local commercial architecture.~~

Application Requirements:

- ~~• Site plan showing the location of the sign(s) to adjacent structures and open spaces and to property lines.~~
- ~~• Material description of the sign(s), to include color, font, wording, location, size, material, and shape.~~
- ~~• Color photos or samples of the proposed materials, colors, etc.~~

SKYLIGHTS AND LIGHT TUNNELS

Fast Track process available ~~for rear roof line only*~~

1. No Exterior Alteration Application is required for replacement skylights and light tunnels of the same style and dimensions.
- 1.2. An ~~complete application~~ Exterior Alteration Application ~~must be submitted~~ is required for all other skylights and light tunnels.
2. ~~Skylights must meet the following requirements for approval:~~
3.
 - a. ~~Dome shall~~ must be made of clear materials, such as acrylic, glass, Lexan, fiberglass, or thermalized glass (acrylic);
 - b. ~~dome height can vary from an almost flat 2-inch rise with 2-inch flashing to 12 inches (5-inch rise most popular);~~
 - c. ~~frame should be of aluminum;~~
 - d. ~~skylight shall be self-flashing (have its own aluminum mount); and~~
 - e. ~~domes may be of single, double, or triple construction.~~

Fast Track Requirements:

Skylights and light tunnels eligible for the **Fast Track** process must meet all criteria above in addition to the following:

1. Skylights or light tunnels must be for a rear roof line only.

Application Requirements:

- Drawing, diagram, or color photo of house showing the location of proposed skylight(s) or light tunnel(s).
- Number of proposed skylights.
- Material description, including the dimensions, rise, and color.
- Color photo, and or manufacturer's drawing of proposed skylight(s) or light tunnel(s).

SOLAR COLLECTORS

~~No~~ **Fast Track** process available

1. An Exterior Alteration Application is required for all solar collectors.
 2. Solar collectors can ~~represent~~have a large visual impact on a structure due to their size. Therefore, it is important to properly integrate the collector into the design of the house to give maximum advantage to the user with minimal design impact.
 3. Large collectors on a sloping roof ~~shall~~must appear to be flush with the roof and not laying on top of it. Collectors on a flat roof ~~shall~~must be set back and concealed with a parapet unless integrated into the roof design of the structure. Small collectors may be laid on top of a sloping roof and finished to look like a skylight.
 4. Collectors ~~shall~~must be constructed of glass with wood or metal trim. All trim ~~shall~~must be painted to match the background color of the roof or house to conceal it. Plexiglass is not acceptable as it sags and yields an unsatisfactory appearance. All pipe work ~~shall~~must be concealed.
 - 4.5. Inverter box and other attachments such as pipes, conduits, and wiring shall must be installed in an orderly and neat fashion to minimize the visual impact.
- ~~All applications must include a site plan plus elevations of the house showing the appearance of the collector. Details must show how the collector edges will meet the roof.~~
- 2.6. Freestanding collectors ~~normally should~~must be located behind the structure and completely concealed from the road, neighboring properties and open space or worked into another architectural element.

Fast Track Requirements:

Solar collectors eligible for the **Fast Track** process must meet all criteria above in addition to the following:

1. Solar collector must be panel style and flush mounted to the roof. The frame must be metal in black, silver, or dark brown to blend with existing roof.
2. Inverter box and other attachments such as pipes, conduits, and wiring must be installed to minimize the visual impact.

Application Requirements:

- Color photo of house showing the proposed location and number solar collectors.
- Material description, to include the dimensions, color, and number of collectors.

- Elevation drawings showing the appearance of the collector(s) and how the edges will meet the roof.
- Drawing or diagram showing the location of conduit piping and inverter box.

TEAR DOWNS/REBUILDS

No *Fast Track* process available

1. An ~~application~~ *Exterior Alteration Application* is required for all tear downs and/or new construction. ~~*~~ *and must include:*
2. (~~*For new construction involving the tear down of an existing structure, *application an Exterior Alteration Application* and approval is required *prior to* demolition.~~)
3. All structures on a ~~particular~~ property should be of the same style, materials, colors, etc.

~~Exterior Alteration Applications must include the signatures of two abutting and visually affected property owners.~~

~~Plot/survey plan showing the current and proposed footprints of the new house in relationship with and measurement to all abutting property lines.~~

~~Color photographs of all sides/elevations of the existing structure(s).~~

~~Elevation drawings of all sides of the new structure(s) indicating the placement of windows, door, any skylights, rooflines, porches and/or decks, all trim detail, railings, gutters, and down spouts, etc.~~

~~List of exterior building materials with detailed descriptions, color samples, etc. for the roof shingles, siding, trim, light fixtures, doors, decking, walkways, etc.~~

~~Elevation and above view plans of any proposed hard or soft landscaping. Grading should be done so as to maintain the original drainage patterns.~~

~~Drawings indicating the scale and style of the proposed structure(s) compared to those of all neighboring structures on all neighboring lots.~~

~~Timelines with anticipated starting and completion dates for demolition, construction, and landscaping.~~

~~Clearly marked corners of the structure for any site visits to be done by the Resident Architectural Committee.~~

1. ~~For any anticipated tree removal, see page 30, Plantings and Trees, of the Architectural Guideline book for criteria and requirements for application.~~
2. ~~All applications should include the signatures of abutting and visually affected property owners.~~
3. ~~All structures on a particular property must be of the same style, materials, colors, etc.~~

All ~~application~~ *Exterior Alteration Applications* for tear downs/rebuilds are required to obtain a Howard County building permit and to go through a **Two-Step Process**.

1. **Step One Approval** - Approval of GENERAL CONCEPT AND PLAN. ~~This~~ The *Exterior Alteration Application* should ~~must~~ contain the basic information listed in numbers 1 through 9 above all of the Application Requirements listed below. Approval of this plan does not constitute authorization for the tear down and construction of said structure(s).

2. **Step Two Approval - Final Approval-** Within 60 days after obtaining the Step One approval, the ~~resident~~applicant must submit a copy of the approved Howard County building permit along with a statement that Howard County did not require any exterior changes to the plans approved in Step One and these changes are attached to the building permit. The ~~application~~Exterior Alteration Application will be on the agenda for its final vote at the first meeting after the submission of said building permit and statement.

Any major/substantial changes, required by Howard County, to the plans approved in Step One, will require a second positive Step Two vote. The decision as to whether the changes are major/substantial will be made ~~to~~by the Resident Architectural Committee.

Application Requirements:

- Plot/survey plan showing the current and proposed footprints of the new house in relationship with and measurement to all abutting property lines.
- Color photographs of all sides/elevations of the existing structure(s).
- Elevation drawings of all sides of the new structure(s) indicating the placement of windows, door, any skylights, rooflines, porches and/or decks, all trim detail, railings, gutters, and down spouts, etc.
- List of exterior building materials with detailed descriptions, color samples, etc. for the roof shingles, siding, trim, light fixtures, doors, decking, walkways, etc.
- Elevation and above view plans of any proposed hard or soft landscaping.
- Drawings indicating the scale and style of the proposed structure(s) compared to those of all neighboring structures on all neighboring lots.
- Timelines with anticipated starting and completion dates for demolition, construction, and landscaping.
- Clearly marked corners of the structure for any site visits to be done by the Resident Architectural Committee.

TEMPORARY STORAGE UNITS AND DUMPTSTERS

No *Fast Track* process available

1. Temporary storage units (PODS) and dumpsters must be placed on the property's driveway or paved parking surface.
2. Per Howard County regulations, no more than one temporary storage unit and one dumpster may be located on the property at any time.
3. No Exterior Alteration Application is required if all the following conditions are met:
 - a. Up to two (2) temporary storage units or one (1) dumpster remains on the property no longer than thirty (30) days.
 - b. The storage unit and/or dumpster is on the driveway or paved parking area located within the homeowner's property lines.
 - c. Residents ~~should~~ must contact the Covenant Advisor prior to having the unit or dumpster delivered.
4. An ~~Application~~ Exterior Alteration Applications ~~shall be required for all~~ is required if one or more of the above conditions is not met. ~~temporary storage units (e.g., PODS) that will be placed on the lot longer than fourteen (14) days.~~

Application Requirements:

- Site plan ~~that shows~~ showing the location of the temporary storage unit or dumpster.
- Color photo of temporary storage unit or dumpster location.
- Number of storage units and/or dumpsters.
- Dates and timeframe in which the storage unit and/or dumpsters will remain on the lot.
- Reason(s) that necessitates the proposed timeframe.

NOTE: Howard County Zoning Regulations state that a storage or refuse container may not remain on the site for more than 60 days. The county also requires a resident to obtain a permit to place a storage or refuse container on a county right-of-way or county street. For more information, visit howardcountymd.gov or call Planning and Zoning at 410-313-2350.

GUIDELINE 41

TREE REMOVAL

No *Fast Track* process available

1. Naturally wooded lots are not to be thinned out in such a manner as to render them out of character with the rest of the immediate neighborhood.
2. Stumps from removed trees must be at ground level or below. The intent is that there be no sign that a tree was ever there.
3. Exterior Alteration Applications for tree removal(s) as a rule shall include a plan for replacement(s). This shall apply if:
 - a. there are fewer than three (3) trees on a single-family lot, excluding street trees planted by the County.
 - ~~a.b.~~ there are no trees in the front yard except street trees planted by the County.
 - c. there is no tree in front of the adjacent townhouses of a multi-family dwelling.
4. All wood must be removed or stacked and split within 60 days of tree removal. (See Guideline for Woodpiles)
5. No Exterior Alteration Application is required for tree removal if any of the following conditions are met:
 - a. The tree is dead.
 - b. The tree has fallen due to severe weather. The reside is required to contact the village office and provide color photo of fallen tree so a notation can be made in the property's lot file.
 - c. The tree is less than eight (8) feet in height and is less than six (6) inches in diameter (measured from a point two feet above ground level).
 - d. Up to two trees may be removed, regardless of size, when they are within 15 feet of the house.
 - e. There is only one tree being removed, regardless of size, and will be replaced with another tree or shrub, if more appropriate.
6. An Exterior Alteration Application is required if four (4) or more trees are being removed at one time, even if any of the conditions outlined in 4. above are met.
7. An Exterior Alteration Application is required for tree removal if any of the conditions in 4. above are not met.

Application Requirements:

- Site plan showing the location of the tree(s) to be removed, and location of any new tree plantings.
- The tree(s) should be marked (ribbon, etc.) to assist in identification during the site visit.
- Replanting plan, including the type and size at maturity, if applicable.

Note: There are many plants, shrubs, and trees that not only thrive in our state, but help protect the environment. University of Maryland Extension's website extension.umd.edu is an excellent resource for information about native plants, shrubs, and trees.

GUIDELINE ~~3941~~

~~TOWNHOUSES, CONDOMINIUM AND SIMILAR MULTI-FAMILY DWELLINGS~~

No *Fast Track* process available

- ~~1. Applications are required for exterior alterations.~~
- ~~2. The Resident Architectural Committee shall consider each application based on the Long Reach Village Guidelines. However, when other guidelines or regulations are in effect, such as townhouse, condominium, or county, the **most restrictive** shall take precedence.~~
- ~~3. The original architectural character or theme of any unit shall remain consistent with itself and others around it, particularly with townhouses or other attached units. Once the character is established, whether traditional or contemporary, no portion should be changed or added which would conflict with or alter the character. In the case of attached units, the standard should be the buildings within the surrounding areas, in order to maintain the original continuity. For example, for townhouse units, the addition of elements such as lighting and decorative fixtures, canopies, awnings, etc., shall be considered in the context of the original architecture and the impact of the proposed changes on adjacent structures.~~
- ~~4. When townhouse or similar associations maintain an architectural review process, that association's representative must sign a resident's application before it is submitted to the Long Reach Community Association.~~

WINDOWS, EXTERIOR DOORS, STORM DOORS AND GARAGE DOORS

No *Fast Track* process available

Storm ~~Windows~~ ~~Doors~~ & Storm ~~Doors~~ ~~Windows~~

1. ~~An~~ No application ~~Exterior Alteration Application~~ is ~~not~~ required for storm windows and storm doors, ~~provided if~~ the following ~~provisions~~ conditions are met:
 - a. Style matches the style of the house.
 - b. Storm door ~~C~~color either matches or blends with thematches the house front door or door trim color.
 - c. Storm windows do not overlap existing window molding. Storm window trim matches window trim color and all windows on one side of house (or both sides of house) have matching storm windows.
 - d. Storm doors and windows do not have bars, cross-hatching, or filigree.
2. ~~Storm window trim must match window trim color and be consistent in style with the house. If one window on a side of a house has a storm window, all on that side must have a storm window. An Exterior Alteration Application is required for all storm windows and storm doors if all of theany of the above conditions are not met.~~

Application Requirements:

- Material description of the storm window or storm door, to include colors, dimensions, and style.
- Description of location of the storm windows or storm door on the house.
- Color photo of the proposed storm window(s) and/or storm door.
- Color photo of existing doors and windows, if applicable.

Windows & Sliding Glass Doors

3. No Exterior Alteration Application is required for R ~~re~~placement windows and sliding glass doors if the following conditions are met:
 - a. require no application if there ~~There~~ is no change in the color, size, or style from the existing windows and sliding glass doors. For example, E.g., if you have 3-foot by 4-foot, white, double-hung windows with grids, you must replace them with 3-foot by 4-foot, white, double-hung windows with grids.
 - b. Sliding glass doors that are being converted to French Door and French doors that are being converted to a sliding glass door that are the exact same color and size as existing French door or sliding glass door.

4. An Exterior Alteration Application is required for adding a window or slider, changing a location of an existing window, or slider, or if there is a change in color, size, or style. Removing or adding mullions/grids to windows requires an Exterior Alteration Application.
5. Style of replacement window and sliding glass door must match house style.
6. Sliding Glass Doors must have the same frame color as the windows in the house.

Application Requirements:

- Material description of the windows or sliding glass doors, to include colors, dimensions, and style.
- Color photo showing the proposed windows and/or sliding glass doors. If window or door trim is not white, the photo must show the proposed color.
- For additional windows and sliding glass doors, or windows and sliders that are different dimensions and/or moving to a new location, please provide a color photo and/or drawing of the home showing the proposed windows and sliding glass doors in their new location.

Garage Doors

7. No Exterior Alteration Application is required for Replacement garage doors ~~require no application~~ if there is no change in ~~provided~~ the style, color, materials, and window configuration from the existing garage doors, if any, match the original.
8. An Exterior Alteration Application is required for garage doors that change in style, color, and window configuration from existing garage doors.
~~The garage doors on houses having shared garages must match in style and color.~~

Application Requirements:

- Color photo of the proposed garage door, showing the color, style, and window style.
- Material description, including the dimensions, color, style.
- Color photo of existing garage doors.
- Paint or stain sample, if applicable.

Exterior Doors

9. No Exterior Alteration Application is required for replacement exterior doors if there is no change in the color, size, material, or style.
10. An ~~application~~ Exterior Alteration Application is required for ~~a~~ adding an exterior ~~door~~ door, changing a location of an existing door, or if there is a change in color, size, or style.

11. An exterior door must be compatible in style with the house and match either the siding, trim or shutter color. Only one color is allowed, no contrasting trim.

~~**NOTE:** Townhouse and condominium association may have further restrictions on storm/screen/windows and doors.~~

Application Requirements:

- Material description, to include the color, dimensions, and style.
- Description of location of the proposed door.
- A color photo showing the door style, any glass style, and proposed color.
- Description of any glass insert or sidelight.
- Color photo of existing door.
- Paint or stain sample, if applicable.

~~**NOTE:** Townhouse and condominium association may have further restrictions on storm doors, storm windows, windows, and exterior doors. It is property owner's responsibility to ensure compliance with all guidelines and/or restrictions.~~

GUIDELINE 43

WOODPILES

No *Fast Track* process available

1. Woodpiles should be neatly stacked, placed inconspicuously on the property, and never covered with a brightly colored tarp.
2. Woodpiles are never acceptable in front of the front line of the house or on driveways.
3. No Exterior Alteration Application is required if the woodpile is no more than one cord (4'wx8'lx4'h) and located behind the house and not readily visible from street or neighbor's view.
4. An Exterior Alteration Application is required for all other locations and sizes.

Application Requirements:

- Site plan showing the location of the woodpile in relation to structures and property lines.
- Material description of the wood rack, to include dimensions, and color.
- Color photo or drawing of the wood storage rack, if applicable.

GUIDELINE 44

OTHER ALTERATIONS

No ***Fast Track*** process available

It is impossible to anticipate all possible exterior changes. If no guideline seems appropriate for the project you propose, a complete ~~application~~Exterior Alteration Application must be filed. Emphasis should be placed on proper scale, materials, color, and impact on neighboring properties.

~~Application~~Exterior Alteration Applications ~~shall~~must include sufficiently detailed information to permit understanding and evaluation of your proposal. Contact the Covenant Advisor if you have questions.

Checklist for Exterior Alteration Applications

Exterior Alteration Applications cannot be processed ~~and voted on~~ unless all required information is included. Please ~~note the list below and~~ read the architectural guideline pertaining to your alteration and submit your ~~application~~ Exterior Alteration Application only if all information is included.

1. Name, address, home, cell/work telephone numbers and email address.
 2. Neighborhood.
 3. Type of house, design of house and current colors of roof, siding, shutters, door, garage door and trim.

~~Signature of your townhouse or condominium association, if applicable, on the application with Approval or Disapproval circled.~~
 4. Description of all changes desired.
 5. Site plan showing existing structures on property and all property lines. The proposed changes must be clearly marked on site plan.
 6. Color ~~chips~~ samples, material samples, and/or color photos of proposed materials. A verbal or written description is not acceptable for color changes.
 7.
 8. Drawings and/or plans to scale of the proposed alterations/additions. Please include all dimensions, including elevations of all views. ~~drawings with all measurements, plot plan with proposed changes clearly marked, etc.~~
 9. Color photo of existing exterior item to be replaced.
 10. Name, address, and telephone number of your contractor, if applicable.
 11. ~~Your dated signature~~ Dated signature of property owner. A renter may not sign on behalf of the property owner.
- ±
- 4-12. For **Fast Track process**: All information above plus **two visually affected neighbors' signatures**. Application Exterior Alteration Applications submitted for the **Fast Track** without all required information included at the time of submission will be moved to the regular process. For information on specific alterations which are eligible for the *Fast Track*, please see the Architectural Guideline bookbooklet or call the Covenant Advisor at 410-730-8113.

LONG REACH FAST TRACK APPLICATION

~~Certain exterior alterations may be reviewed under the **Fast Track** application process. Please check the Guideline book to note whether the alteration you desire is eligible for the **Fast Track** process. Any application from a townhouse or condominium **must** include the local association signature denoting approval or disapproval **at the time of** submission. Due to scheduling conflicts and unforeseen circumstances, the **Fast Track** process may not be available during all weeks of the year.~~

All applications for consideration under the ***Fast Track*** process must be submitted by noon, any Monday Stonehouse is open. The application form for the ***Fast Track*** process is the same form used for all exterior alterations requests. The Covenant Advisor will review the submitted application for ***Fast Track*** eligibility and completeness. The application **must be complete** at the time of submission for consideration under the ***Fast Track*** process. This includes plot plan, samples, drawings, all pertinent measurements, signatures of four visually affected property owners surrounding the applicant's property are required, etc. Remember, the neighbors' signatures are **required for the *Fast Track*** process because no time is available for notification by post card. If the application is complete and meets the criteria for ***Fast Track*** review, it will then be approved by a member of the Architectural Committee. You will be notified by telephone by 4 p.m. on the Thursday following submission with confirmation in writing to follow. If an application does not meet all the criteria for the ***Fast Track*** process, the Covenant Advisor will move the application to the regular review process. **The decision to move an application to the regular process is final.**

For your information: The actions on applications of the most recent Resident Architectural Committee Meetings and the Agenda for the next meeting can be found on our website www.longreach.org. You may also download Exterior Alteration Applications, In-Home Business Applications, Fence, Deck & Major Alteration Worksheets. The Architectural Guidelines can also be viewed on the website.

NOTE: If changes apply to a property subject to another Homeowners Association, it is the property owner's responsibility to obtain approval, if required, from the Homeowners Association which may have different or more restrictive guidelines. In most cases, the more restrictive criteria shall apply.

ANY APPLICATION SUBMITTED WITHOUT ALL REQUIRED INFORMATION WILL BE NEITHER NOT BE STAMPED ARECEIVED@ NOR LOGGED IN AND WILL BE RETURNED TO THE PROPERTY OWNER(S) FOR COMPLETION PROCESSED.

NOTES